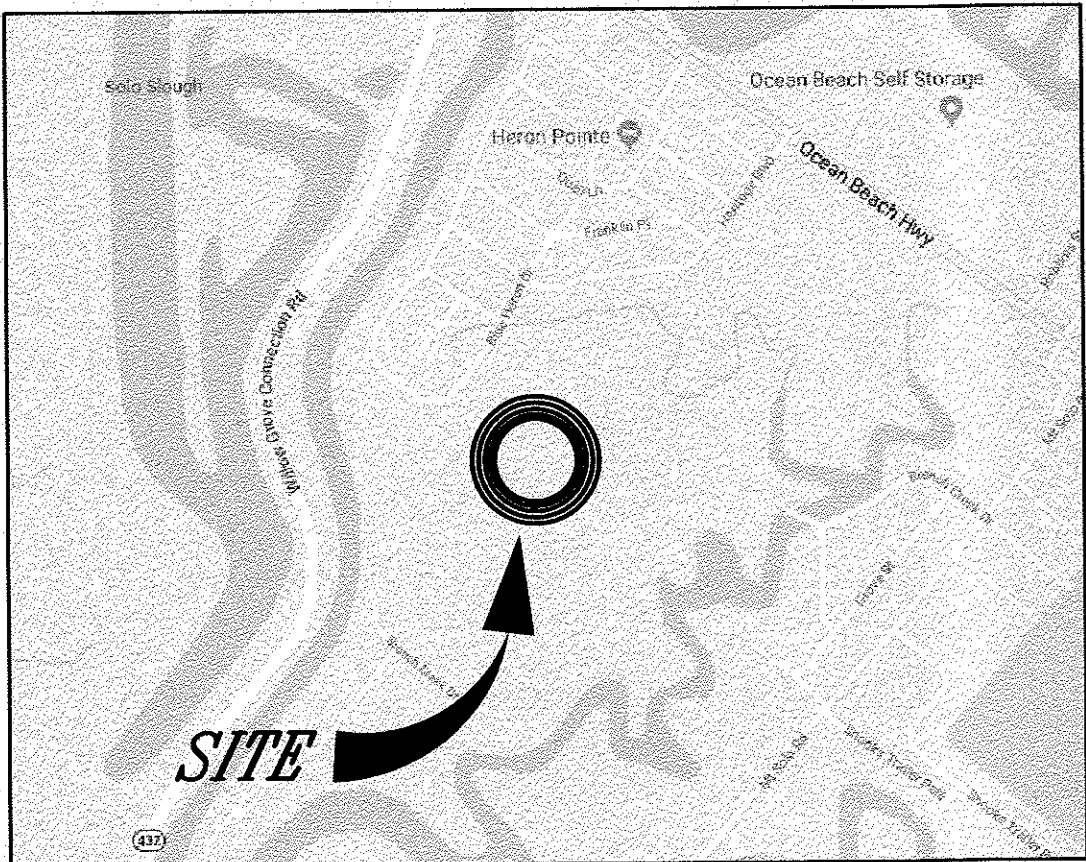


# MT. SOLO ESTATES PHASE I, II & III

CITY OF LONGVIEW, WASHINGTON  
BEING A PORTION OF SECTIONS 14 AND 23, TOWNSHIP 8 NORTH, RANGE 3  
WEST OF THE WILLAMETTE MERIDIAN COWLITZ COUNTY, WASHINGTON.  
PARCEL # 107460100



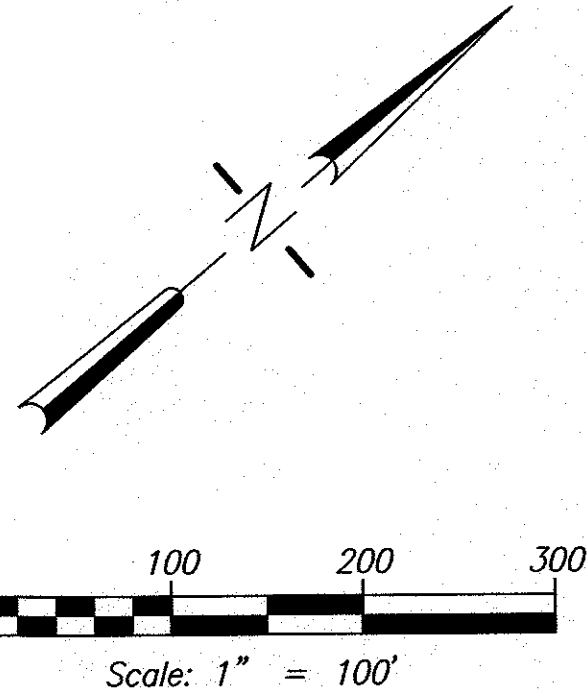
| LEGEND                 |                                   |
|------------------------|-----------------------------------|
| EXISTING:              | PROPOSED:                         |
| ● GAS VALVE            | ● SANITARY MANHOLE                |
| ○ GAS RISER            | ○ SANITARY CLEANOUT               |
| — GUY ANCHOR           | □ STORM MANHOLE                   |
| ⋈ POWER POLE           | □ CATCH BASIN/ W/TEMP.            |
| ⊙ ELECTRICAL SERVICE   | □ STORM INLET PROTECTION          |
| ⊙ SANITARY MANHOLE     | □ CURB INLET                      |
| ⊙ STORM DRYWELL        | □ STORMFILTER CATCH BASIN         |
| ⊙ SEPTIC TANK          | ▶ THRUST BLOCK                    |
| ⊙ TELEPHONE PEDESTAL   | ⋈ WATER VALVE                     |
| ⋈ FIRE HYDRANT         | ⋈ FIRE HYDRANT                    |
| ⋈ WATER VALVE          | ⋈ WATER BLOW-OFF                  |
| ● WELL                 | ⋈ WATER SERVICE LATERAL AND METER |
| ⋈ WATER METER          | — STORM LINE                      |
| ⋈ INDICATES MAILBOX    | — WATER LINE                      |
| ⋈ CATCH BASIN          | — SANITARY LINE                   |
| — CENTERLINE           | — PROPERTY LINE                   |
| — ELECTRIC LOCATE      | — PHASE LINE                      |
| — TELEPHONE LOCATE     | — F& 100 MAJOR CONTOURS           |
| — FENCE                | — F& 101 MINOR CONTOURS           |
| — OVERHEAD POWER       | ⋈ ADA RAMPS COMPLETED             |
| — GAS LINE LOCATE      | ⋈ W/STREET CONSTRUCTION           |
| — 5 FOOT CONTOUR       | ⋈ SIDEWALK COMPLETED              |
| — 1 FOOT CONTOUR       | ⋈ W/STREET CONSTRUCTION           |
| — WATER LINE           | — NEW PAVEMENT                    |
| — SAN- SANITARY LINE   | — STORM ACCESS ROAD               |
| — STM- STORM LINE      |                                   |
| — EXISTING PAVEMENT    |                                   |
| — EXISTING GRAVEL ROAD |                                   |

**OWNER/DEVELOPER**  
HINTON DEVELOPMENT CORP.  
14010-A NE 3RD COURT, SUITE 106  
VANCOUVER, WA 98685  
PHONE: (360) 546-1220  
ATTN: ROB HINTON  
EMAIL: ROB@HINTONDEVELOPMENT.COM

**CONTACT/ENGINEER**  
SGA ENGINEERING, PLLC  
2005 BROADWAY  
VANCOUVER, WASHINGTON 98663  
PHONE: (360) 993-0911  
FAX: (360) 993-0912  
EMAIL: STAYLOR@SGAENGINEERING.COM

**GEOTECHNICAL ENGINEER**  
COLUMBIA WEST ENGINEERING, INC.  
11917 NE 95TH STREET  
VANCOUVER, WA 98682  
PHONE: (360) 823-2900  
ATTN: DANIEL LEHTO, P.E.

**SURVEYOR**  
MINISTER-GLAESER SURVEYING INC.  
2200 E. EVERGREEN BLVD.  
VANCOUVER, WASHINGTON 98661  
PHONE: (360) 694-3313  
ATTN: DANIEL RENTON  
EMAIL: DAR@MGSURVEY.COM



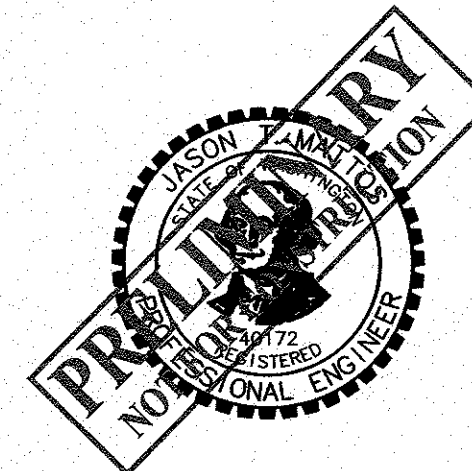
| SHEET  |                                      |
|--------|--------------------------------------|
| NUMBER | DESCRIPTION                          |
| PRE1.0 | COVER SHEET                          |
| PRE2.0 | EXISTING CONDITIONS                  |
| PRE3.0 | PRELIMINARY PLAT                     |
| PRE4.0 | PRELIMINARY LANDSCAPE PLAN           |
| PRE5.0 | GRADING PLAN                         |
| PRE6.0 | PRELIMINARY STREET & STORMWATER PLAN |
| PRE7.0 | PRELIMINARY UTILITIES PLAN           |
| PRE8.0 | MASTER PLAN                          |

DESIGNED BY: SAT,SEM  
DRAWN BY: SAT,SEM  
CHECKED BY: JTM  
SCALE: 1" = 100'

JOB NUMBER 0802 SHEET PRE1.0

**SGA ENGINEERING & DESIGN**  
CIVIL ENGINEERING ~ LAND PLANNING  
DEVELOPMENT SERVICES  
LANDSCAPE ARCHITECTURE

2005 BROADWAY  
VANCOUVER, WA 98663  
PHONE (360)993-0911  
FAX (360)993-0912

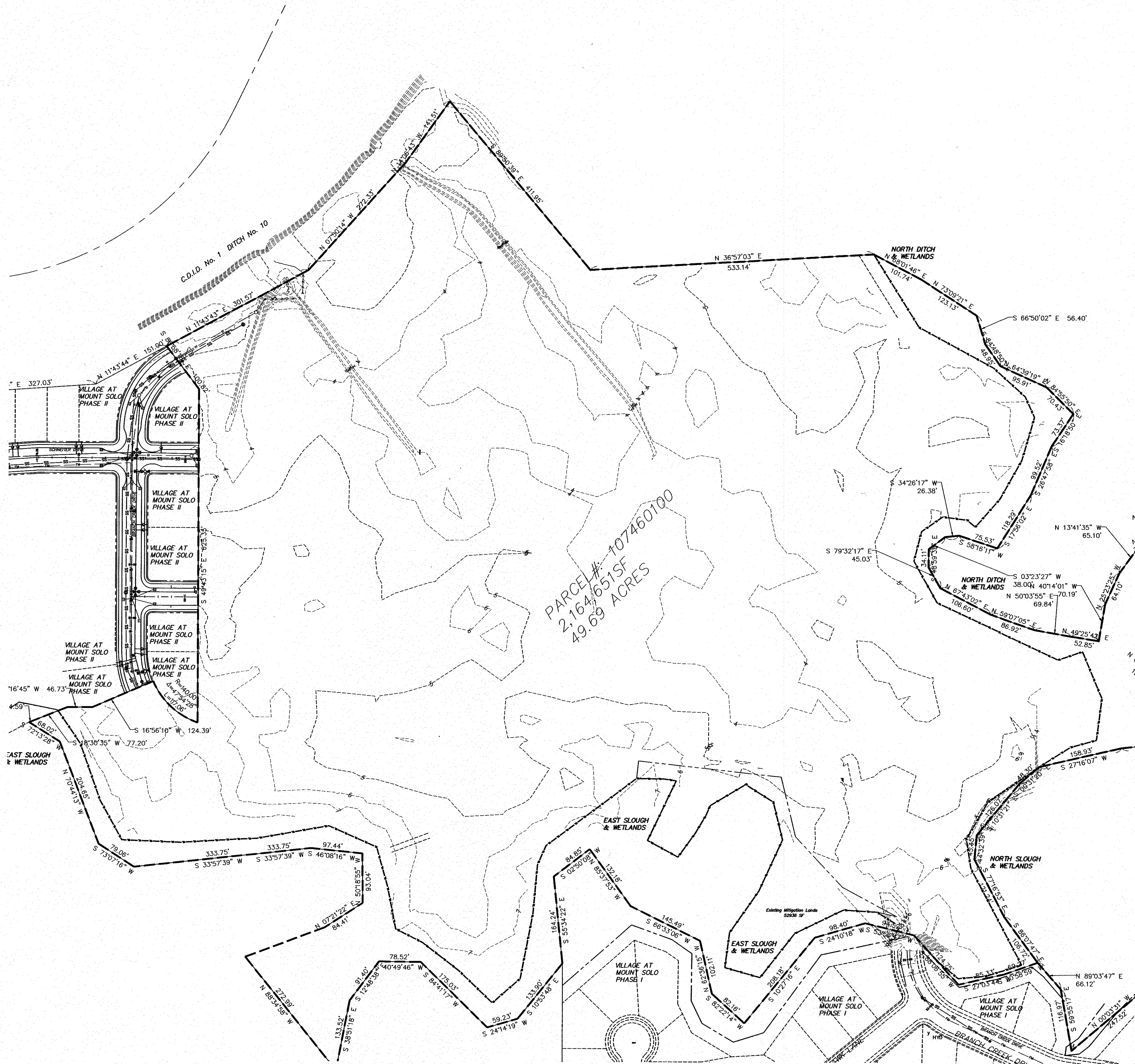


COVER SHEET  
**MT. SOLO ESTATES  
SUBDIVISION PHASE I-III**  
WASHINGTON  
CITY OF LONGVIEW

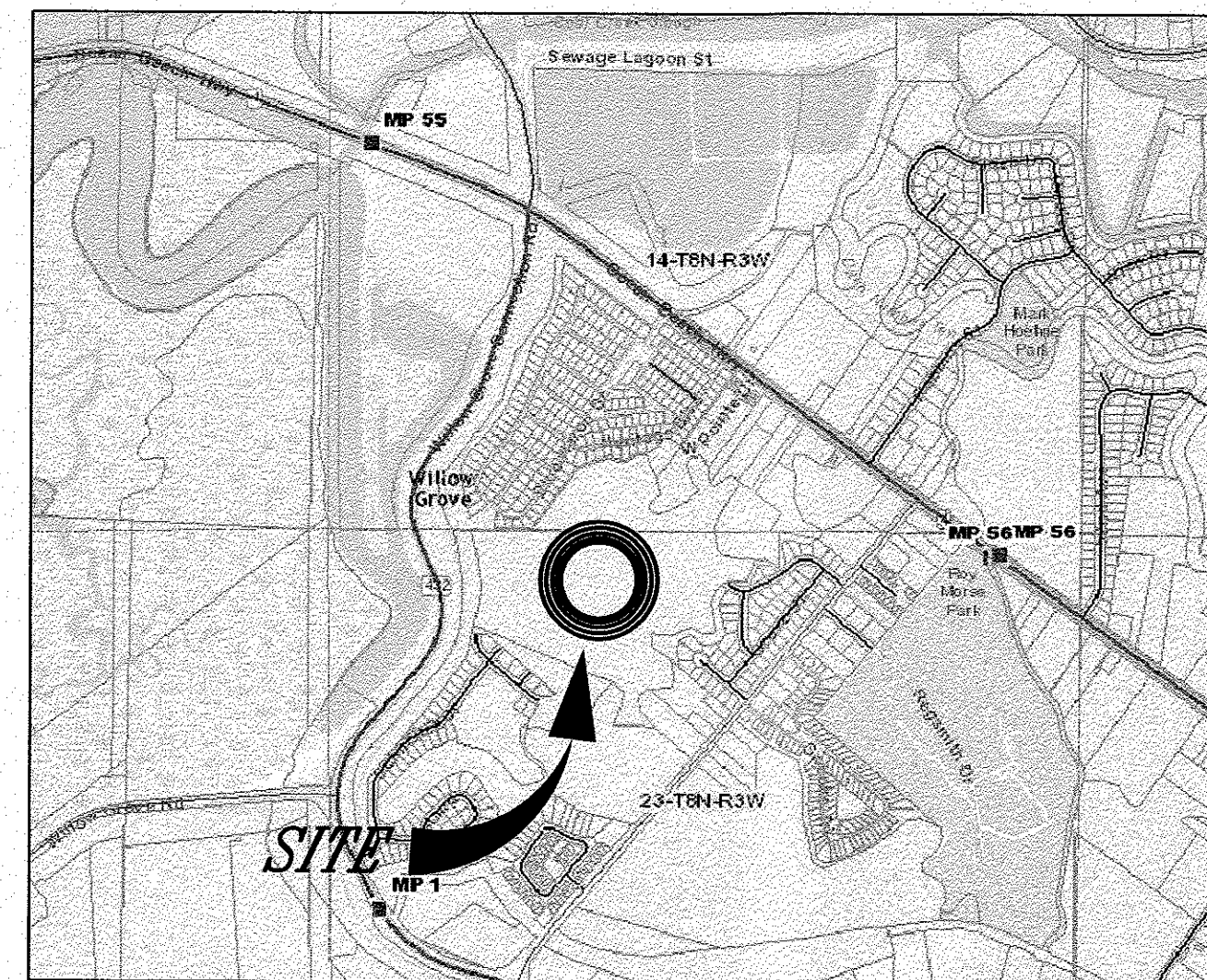
PRELIMINARY

REVISIONS

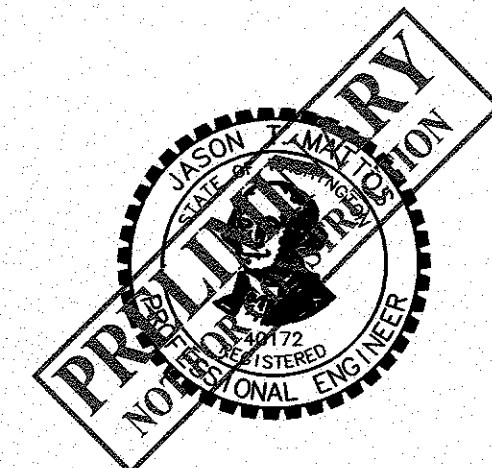
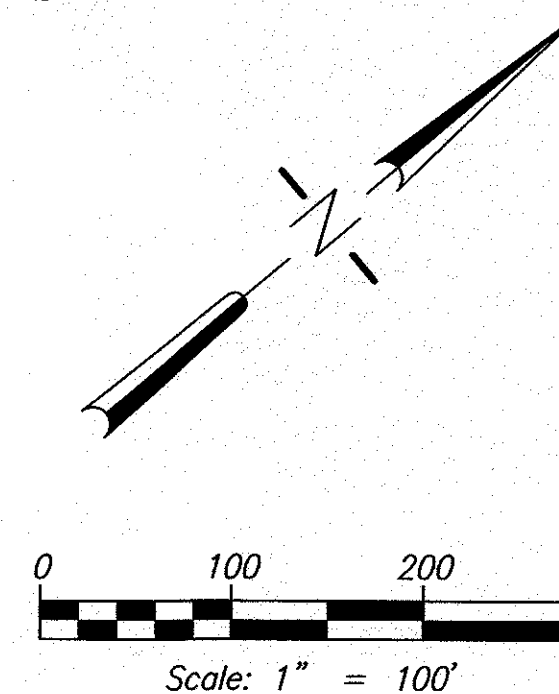
© SGA ENGINEERING PLLC - DATE PLOTTED: Nov. 21, 2018 - 10:04 AM SGA DRAWING FILE: W:\DWG\0802 MT SOLO PUD\DRAWINGS\PRELIMINARY SHEET SET\EXISTING CONDITIONS.DWG



| <u>EXISTING SITE INFORMATION</u>                                                                                                                                                                   |                                                                                                                                                                                                           |           |      |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|------|
| EXISTING PARCEL NUMBER                                                                                                                                                                             | 107460100                                                                                                                                                                                                 |           |      |
| CURRENT USE                                                                                                                                                                                        | VACANT LAND                                                                                                                                                                                               |           |      |
| ZONING DESIGNATION                                                                                                                                                                                 | R-1                                                                                                                                                                                                       |           |      |
| GROSS SITE AREA                                                                                                                                                                                    | 49.69 ACRES                                                                                                                                                                                               | 2,164,651 | S.F. |
| TRANSIT ROUTES                                                                                                                                                                                     | NO KNOWN BUS ROUTES WITHIN 1 MILE OF THE SITE.                                                                                                                                                            |           |      |
| EXISTING WATER AND SEWER                                                                                                                                                                           | SEWER SERVICE WILL BE PROVIDED BY THE CITY OF LONGVIEW, PUBLIC WATER SERVICE WILL BE PROVIDED BY THE CITY OF LONGVIEW. NO SEPTIC SYSTEMS ARE KNOWN TO EXIST ON SITE. NO WELLS ARE KNOWN TO EXIST ON-SITE. |           |      |
| <u>ENVIRONMENTAL CONDITIONS</u>                                                                                                                                                                    |                                                                                                                                                                                                           |           |      |
| THE SITE CONTAINS WETLANDS. THE SITE IS LOCATED IN THE COLUMBIA RIVER WATERSHED.                                                                                                                   |                                                                                                                                                                                                           |           |      |
| <u>EXISTING CONDITIONS DISCLAIMER</u>                                                                                                                                                              |                                                                                                                                                                                                           |           |      |
| THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE OBTAINED FROM INFORMATION PROVIDED BY MGS SURVEYING AND PUBLIC SOURCES. SGA ENGINEERING, PLLC DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION. |                                                                                                                                                                                                           |           |      |



VICINITY MAP  
NTS



EXISTING CONDITIONS

# MT. SOLO ESTATES SUBDIVISION PHASE I-III

WASHINGTON  
CITY OF LONGVIEW

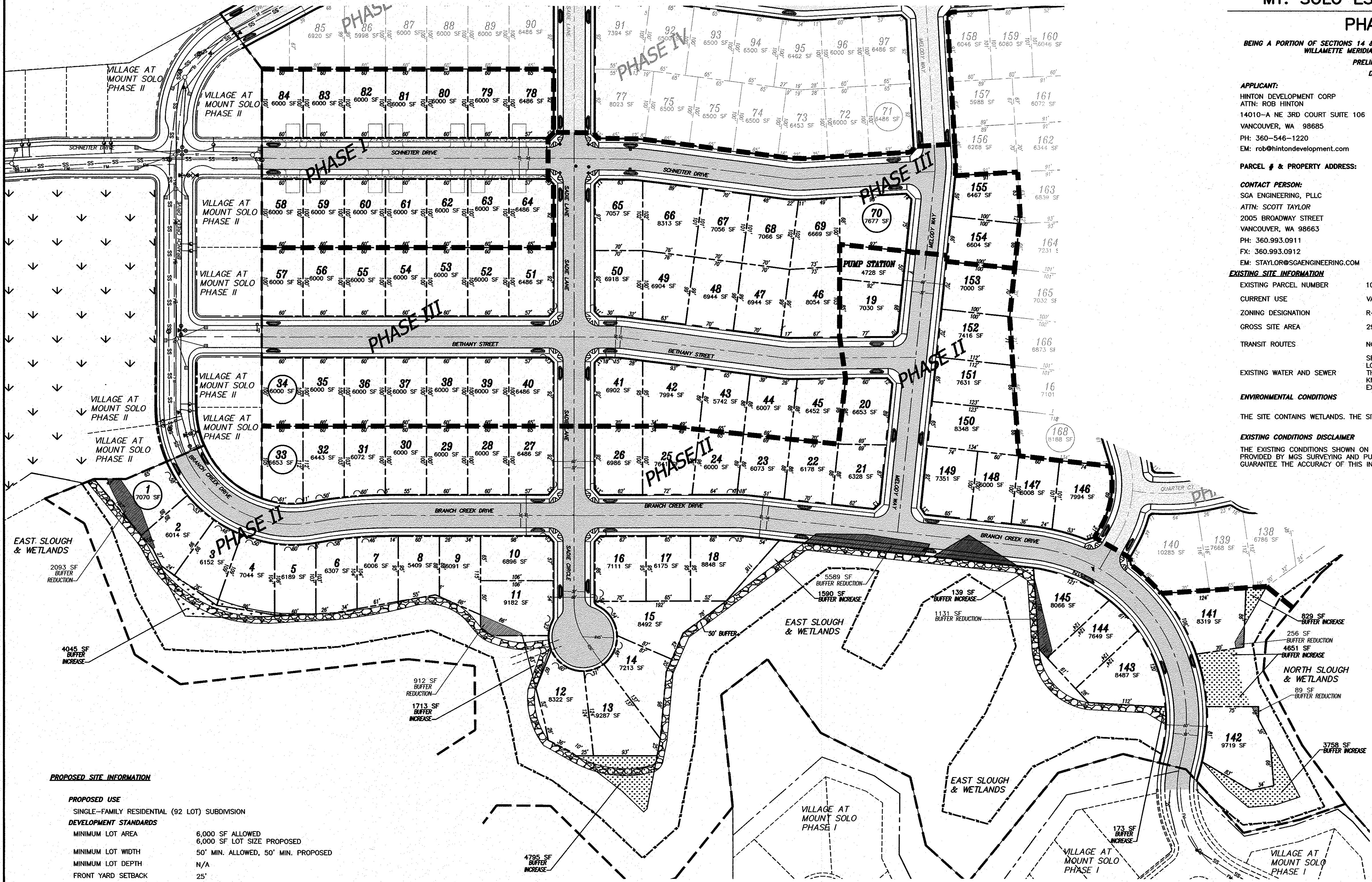
PRELIMINARY

REVISIONS

DESIGNED BY: SAT,SEM  
DRAWN BY: SAT,SEM  
CHECKED BY: JTM  
SCALE: 1" = 100'

JOB NUMBER  
0802

SHEET  
PRE2.0



**PROPOSED SITE INFORMATION**

**PROPOSED USE**

SINGLE-FAMILY RESIDENTIAL (92 LOT) SUBDIVISION

**DEVELOPMENT STANDARDS**

|                            |                                                |
|----------------------------|------------------------------------------------|
| MINIMUM LOT AREA           | 6,000 SF ALLOWED<br>6,000 SF LOT SIZE PROPOSED |
| MINIMUM LOT WIDTH          | 50' MIN. ALLOWED, 50' MIN. PROPOSED            |
| MINIMUM LOT DEPTH          | N/A                                            |
| FRONT YARD SETBACK         | 25'                                            |
| STREET SIDE YARD SETBACK   | 15'                                            |
| INTERIOR SIDE YARD SETBACK | 5'                                             |
| REAR YARD SETBACK          | 15'                                            |
| MAXIMUM LOT COVERAGE       | 65%                                            |
| MAXIMUM BUILDING HEIGHT    | 35'                                            |

**UTILITY PROVIDERS**

|            |                  |
|------------|------------------|
| SEWER      | CITY OF LONGVIEW |
| WATER      | CITY OF LONGVIEW |
| ELECTRICAL | COWLITZ PUD      |

**STORMWATER MANAGEMENT**

|           |                                                                                                                                                                                                                               |
|-----------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| TREATMENT | CITY OF LONGVIEW STANDARDS                                                                                                                                                                                                    |
| DISPOSAL  | STORMWATER IS PROPOSED TO BE TREATED USING BIO-RETENTION, SWALES OR OTHER APPROVED BMP'S. STORMWATER WILL BE RELEASED TO THE EXISTING DRAINAGES SURROUNDING THE SITE. DETENTION WILL BE PROVIDED THROUGH THE DIKING DISTRICT. |

**PROPOSED SITE AREA SUMMARY**

|                               | ACRES | S.F.    |
|-------------------------------|-------|---------|
| GROSS SITE AREA               | 29.33 | 1277742 |
| AVERAGE LOT AREA              | 0.15  | 6735    |
| PUBLIC RIGHT-OF-WAY DEDICATED | 6.78  | 295495  |

**MT. SOLO ESTATES SUBDIVISION**

**PHASES I-III**

BEING A PORTION OF SECTIONS 14 & 23, TOWNSHIP 8 NORTH, RANGE 3 WEST OF THE WILLAMETTE MERIDIAN COWLITZ COUNTY, WASHINGTON

PRELIMINARY APPLICATION

DECEMBER 2017

**APPLICANT:**

HINTON DEVELOPMENT CORP  
ATTN: ROB HINTON  
14010-A NE 3RD COURT SUITE 106  
VANCOUVER, WA 98685  
PH: 360-546-1220  
EM: rob@hintondevelopment.com

**PROPERTY OWNER:**

SOLO LLC  
14010-A NE 3RD COURT SUITE 106  
VANCOUVER, WA 98685

**PARCEL # & PROPERTY ADDRESS:**

107460100  
NO SITUS ADDRESS

**CONTACT PERSON:**

SGA ENGINEERING, PLLC  
ATTN: SCOTT TAYLOR  
2005 BROADWAY STREET  
VANCOUVER, WA 98663  
PH: 360.993.0911  
FX: 360.993.0912  
EM: STAYLOR@SGAENGINEERING.COM

**EXISTING SITE INFORMATION**

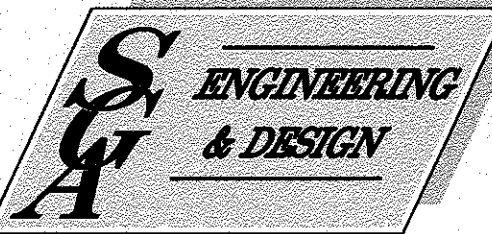
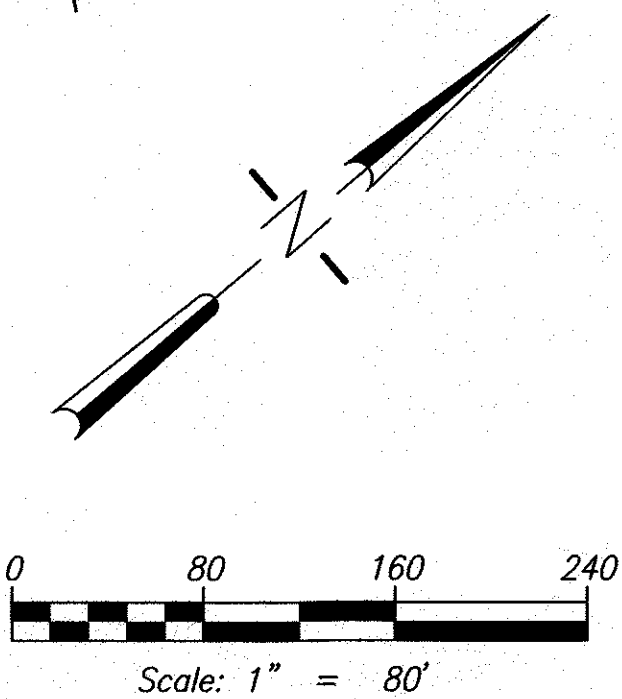
|                          |                                                                                                                                                                                                           |
|--------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| EXISTING PARCEL NUMBER   | 107460100                                                                                                                                                                                                 |
| CURRENT USE              | VACANT LAND                                                                                                                                                                                               |
| ZONING DESIGNATION       | R-1                                                                                                                                                                                                       |
| GROSS SITE AREA          | 29.33 ACRES 1,277,742 S.F.                                                                                                                                                                                |
| TRANSIT ROUTES           | NO KNOWN BUS ROUTES WITHIN 1 MILE OF THE SITE.                                                                                                                                                            |
| EXISTING WATER AND SEWER | SEWER SERVICE WILL BE PROVIDED BY THE CITY OF LONGVIEW. PUBLIC WATER SERVICE WILL BE PROVIDED BY THE CITY OF LONGVIEW. NO SEPTIC SYSTEMS ARE KNOWN TO EXIST ON SITE. NO WELLS ARE KNOWN TO EXIST ON-SITE. |

**ENVIRONMENTAL CONDITIONS**

THE SITE CONTAINS WETLANDS. THE SITE IS LOCATED IN THE COLUMBIA RIVER WATERSHED.

**EXISTING CONDITIONS DISCLAIMER**

THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE OBTAINED FROM INFORMATION PROVIDED BY MGS SURVEYING AND PUBLIC SOURCES. SGA ENGINEERING, PLLC DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION.

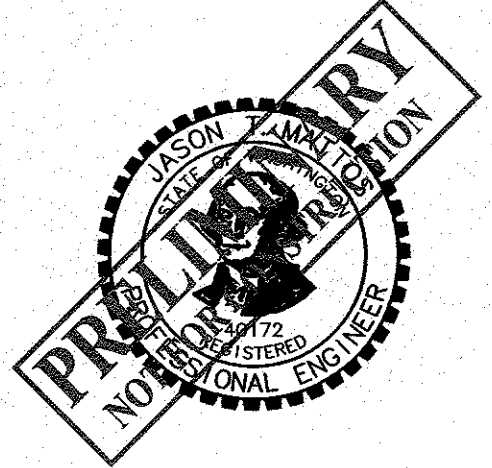


CIVIL ENGINEERING ~ LAND PLANNING

DEVELOPMENT SERVICES

LANDSCAPE ARCHITECTURE

2005 BROADWAY  
VANCOUVER, WA 98663  
PHONE (360)993-0911  
FAX (360)993-0912



PRELIMINARY PLAT

**MT. SOLO ESTATES  
SUBDIVISION PHASE I-III**

WASHINGTON

CITY OF LONGVIEW

**PRELIMINARY**

**REVISIONS**

|              |          |
|--------------|----------|
| DESIGNED BY: | SAT,SEM  |
| DRAWN BY:    | SAT,SEM  |
| CHECKED BY:  | JTM      |
| SCALE:       | 1" = 80' |

JOB NUMBER  
0802

SHEET  
PRE3.0

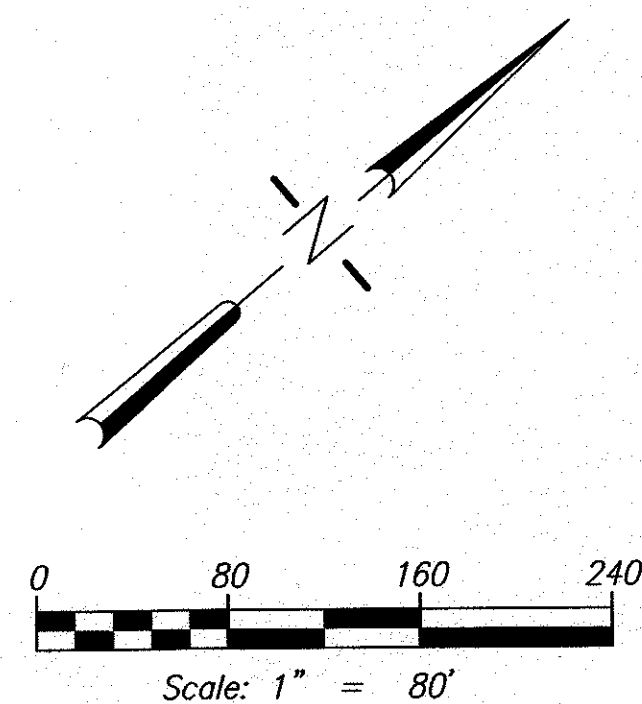
**LANDSCAPING OF PLANTING/UTILITY STRIP**  
THE DEVELOPER OR THEIR SUCCESSOR SHALL BE RESPONSIBLE FOR ENSURING THAT, PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT FOR A LOT, THE UTILITY/PLANTING STRIP ABUTTING THE CURB ADJACENT TO THE LOT IS PLANTED IN GRASS OR OTHER APPROVED LANDSCAPING AND WITH STREET TREES. THE PLANTINGS SHALL INCLUDE STREET TREES MEETING THE FOLLOWING CHARACTERISTICS:

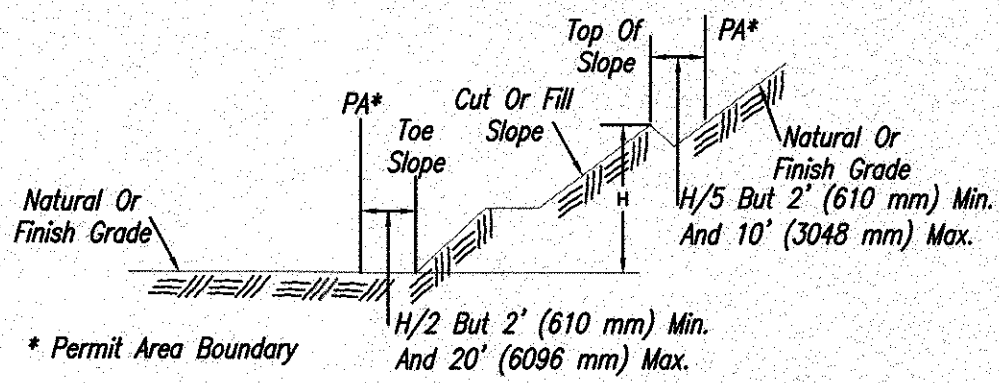
- (i) SHALL BE AT LEAST TWO-INCH DBH AT TIME OF PLANTING AND BE SPACED AT APPROXIMATELY 30-FOOT INTERVALS ON CENTER;
- (ii) SHALL BE CENTERED BETWEEN THE CURB AND SIDEWALK;
- (iii) SHALL BE PLANTED AT LEAST 20 FEET FROM DRIVEWAYS, AT LEAST 20 FEET FROM STREET LIGHT STANDARDS AND AT LEAST EIGHT FEET FROM FIRE HYDRANTS AND SEWER LATERALS;
- (iv) SHALL BE OF A TYPE, SPECIES AND QUANTITY APPROVED BY THE SUPERINTENDENT OF PARKS;
- (v) SHALL BE AT LEAST 30 FEET FROM ANY CORNER WHERE CURB LINES INTERSECT, AND SHALL BE PLANTED AND MAINTAINED IN AN ACCEPTABLE MANNER.

**TIMING AND PROCEDURE FOR CONSTRUCTION OF SIDEWALKS SHALL BE AS FOLLOWS:**

- (i) ALL INTERSECTION CURB RAMPS SHALL BE CONSTRUCTED WITH ROADWAY INFRASTRUCTURE REQUIRED FOR THE SUBDIVISION;
- (ii) SIDEWALKS SHALL BE CONSTRUCTED WITH ROADWAY INFRASTRUCTURE REQUIRED FOR THE SUBDIVISION ON ALL OPEN SPACE AREAS OF THE SUBDIVISION, AND ON THE MAJOR STREET FRONTAGE OF DOUBLE FRONTAGE LOTS; AND
- (iii) ON BUILDING LOTS, CONSTRUCTION OF THE SIDEWALK SHALL BE DONE ON A LOT-BY-LOT BASIS, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE LOT.

LANDSCAPE NOTES:  
LANDSCAPING SHALL BE WATERED WITH AN IRRIGATION SYSTEM CAPABLE OF SUSTAINING THE PLANTINGS IN A HEALTHY CONDITION YEAR AROUND.  
  
TREES AND OTHER PLANTINGS SHALL BE PRUNED, WATERED, FERTILIZED AND MAINTAINED IN A HEALTHY CONDITION.  
  
APPROXIMATE LOCATIONS FOR TREES ARE SHOWN ON THE PLAN. EXACT LOCATIONS TO BE DETERMINED BY DEVELOPER OR BUILDER AFTER CONSTRUCTION OF DRIVEWAYS, SIDEWALKS AND BUILDINGS.





Note: Grading Activities Must Be At Least Two (2) Feet Away From Property Boundaries

### IBC APPENDIX J GRADING DETAIL

NO SCALE

### DIRT QUANTITIES (CY)

|                | TOTAL      |
|----------------|------------|
| SITE GRADING   | 80,000 CY  |
| DISTURBED AREA | 947,000 SF |

#### GRADING PERMIT NOTE:

THIS PLAN SET IS FOR THE GRADING & EROSION CONTROL OF PHASE I-III ONLY. THIS GRADING PROJECT WILL NOT CREATE IMPERVIOUS OR POLLUTION GENERATING SURFACES. ALL FIVE PHASES AND STREET WORK HAVE BEEN SHOWN FOR CONCEPTUAL PURPOSES ONLY.

#### EROSION CONTROL COMPLIANCE NOTE:

THIS PLAN SHOWS MINIMUM EROSION CONTROL COMPLIANCE. ADDITIONAL MEASURES MAY BE REQUIRED DURING CONSTRUCTION. REFERENCE THE SWPPP FOR ADDITIONAL EROSION CONTROL MEASURES.

#### BMP C240 SEDIMENT TRAPS:

INSTALL SEDIMENT TRAPS PER DETAIL CITY OF LONGVIEW DETAIL EC-060 ON SHEET D4.0. MIN SURFACE AREA SHALL BE 1244 SF. ADDITIONAL DITCHING MAY BE REQUIRED TO RELEASE WATER FROM SEDIMENT TRAPS.

#### BUFFER REDUCTION ZONES:

NO GRADING PERMITTED IN BUFFER REDUCTION ZONES SHOWN ON THIS PLAN. FUTURE GRADING IN BUFFER REDUCTION ZONES WILL BE PROPERLY MITIGATED AND PERMITTED WITH FINAL ENGINEERING. SHOWN FOR REFERENCE ONLY AT THIS TIME.

#### DOUBLE SEDIMENT FENCE NOTE:

A DOUBLE SEDIMENT FENCE WILL BE REQUIRED BETWEEN THE WETLAND BUFFERS AND THE WORK AREAS.

#### EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AND SEDIMENT.
2. EROSION CONTROL MEASURES SHOWN ARE FOR DRY WEATHER CONSTRUCTION. ADJUSTMENTS WILL BE REQUIRED IF WET WEATHER CONSTRUCTION IS UNDERTAKEN.
3. SGA HAS INITIATED THE NPDES PERMITTING PROCESS. THE CONTRACTOR WILL BE RESPONSIBLE FOR COMPLETING THE PROCESS, AND OBTAINING AND MAINTAINING THE FINAL NPDES PERMIT.
4. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BE ONSITE AT ALL TIMES DURING CONSTRUCTION. SGA HAS PREPARED THE SWPPP.

#### EXISTING CONDITIONS DISCLAIMER:

THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE OBTAINED FROM A VARIETY OF SOURCES. SGA ENGINEERING, PLLC DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION.

#### GRADING AND DRAINAGE NOTES:

- 1.) ALL STRIPPING, GRUBBING, GRADING, AND COMPACTION ARE TO BE DONE IN ACCORDANCE WITH THE SOIL ENGINEER'S REQUIREMENTS.
- 2.) SOIL STRIPPING WAS ASSUMED TO BE 0.5'. THE CONTRACTOR SHALL VERIFY NECESSARY STRIPPING DEPTHS AND LOCATIONS WITH THE SOIL ENGINEER, AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE THIS WITH THE SOIL ENGINEER.
- 3.) THE CONTRACTOR IS ADVISED TO MAKE HIS OWN TAKEOFF OF EARTHWORK QUANTITIES AND DETERMINE HIS OWN QUANTITIES FOR BIDDING. THE CONTRACTOR IS ADVISED TO DIG TEST HOLES OR USE WHATEVER METHOD HE DEEMS NECESSARY TO DETERMINE EARTHWORK QUANTITIES. EARTHWORK QUANTITIES MAY VARY DEPENDING ON SUCH VARIABLES AS COMPACTION, SHRINKAGE, CONTRACTOR'S METHOD OF OPERATION, STRIPPING DEPTHS, AND ACCURACY OF THE EARTHWORK TAKEOFF. WITH THE SIGNING OF THE CONTRACT FOR THE CONSTRUCTION OF THESE IMPROVEMENTS, THE CONTRACTOR AGREES THAT HIS COST FOR CONSTRUCTING THE GRADING IMPROVEMENTS, AND DISPOSAL OF THE EXCESS MATERIAL IF NECESSARY, IS SATISFACTORY AND THERE WILL BE NO ADDITIONAL CHARGE FOR THIS ITEM.
- 4.) THERE SHOULD BE NO EXCAVATING OR FILLING WITHIN 2 FEET OF THE PROPERTY LINE AS PER CHAPTER J OF THE IBC.
- 5.) THIS PROJECT WILL NOT INCREASE OR CONCENTRATE STORMWATER RUNOFF ONTO ADJACENT PARCELS AS PER CCC 40. CROSS LOT DRAINAGE WILL NOT BE ALLOWED.
- 6.) IMPORTED SOIL PLACED DURING EARLY GRADING SHALL ALLOW FOR ACHIEVABLE COMPACTION REQUIREMENTS FOR FINAL CONSTRUCTION INCLUDING 95% COMPACTION UNDER ROADWAY AND 90% COMPACTION IN LOT AREAS.
- 7.) GRADE FINISHED LOTS WITH POSITIVE GRADIENT TO THE STREET OR AS SHOWN ON INDIVIDUAL LOT GRADING DETAILS.
- 8.) SEE ADDITIONAL NOTES ON EROSION CONTROL DETAIL SHEET.
- 9.) TEMPORARY SEDIMENT/INFILTRATION BASIN SHALL BE INSTALLED AS NEEDED TO ENSURE NO DIRTY RUNOFF LEAVES THE SITES CONSTRUCTION LIMITS.

#### RECOMMENDED CONSTRUCTION SEQUENCE FOR EROSION CONTROL:

- 1.) PRE-CONSTRUCTION MEETING.
- 2.) FLAG OR FENCE CLEARING LIMITS.
- 3.) POST NOTICE OF CONSTRUCTION ACTIVITY PHONE NUMBER OF EROSION SEDIMENT CONTROL SUPERVISOR.
- 4.) INSTALL CATCH BASIN PROTECTION IF REQUIRED.
- 5.) GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
- 6.) INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- 7.) CONSTRUCT SEDIMENT PONDS AND TRAPS.
- 8.) GRADE AND STABILIZE CONSTRUCTION ROADS.
- 9.) CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
- 10.) MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF RIDGEFIELD STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- 11.) RELOCATE SURFACE WATER CONTROLS AND EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY OF RIDGEFIELD EROSION AND SEDIMENT CONTROL STANDARDS.
- 12.) COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
- 13.) STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
- 14.) SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- 15.) UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.

#### WET WEATHER CONDITIONS & STEEP TERRAIN:

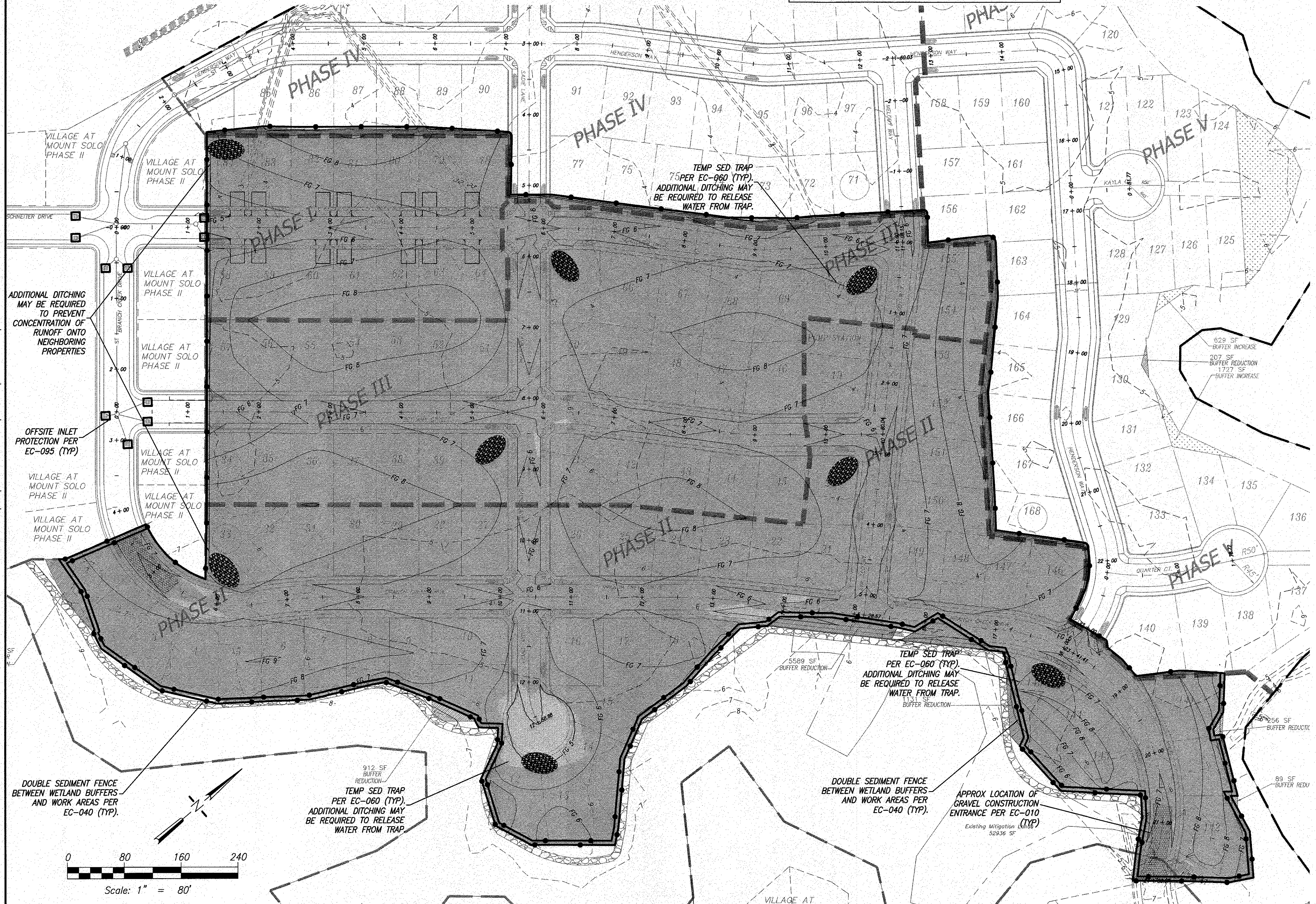
SIGNIFICANT VARIATION AND DEGREE OF EROSION CONTROL EFFORT WILL BE DICTATED BY WEATHER CONDITIONS. THE DEVELOPER AND CONTRACTOR SHOULD BE PREPARED TO PROVIDED EXTRA EROSION CONTROL PROVISIONS AND EFFORT DURING WINTER AND WET WEATHER CONDITIONS BEYOND THAT NORMALLY REQUIRED DURING SUMMER AND DRY WEATHER CONDITIONS. FINE GRAINED AND UNCONSOLIDATED SOILS ON SLOPING SITES MAY BECOME UNSTABLE WHEN SUBJECT TO EXCESSIVE MOISTURE.

DUE TO THE STEEP TERRAIN, ADDITIONAL EROSION CONTROL MEASURES MAY ALSO BE NEEDED. MEASURES WHICH COULD BE USED INCLUDE, BUT ARE NOT LIMITED TO, MULTIPLE SILT FENCE ROWS, SEDIMENT BARRIERS, FIBER ROLLS, OR CUT-OFF DITCHING TO DIVERT POTENTIAL STORM FLOW. LARGE BARREN SLOPES SHALL NOT BE EXPOSED FOR LONG PERIODS OF TIME AND SHOULD BE PROTECTED WITH AN APPROVED EROSION CONTROL BMP.

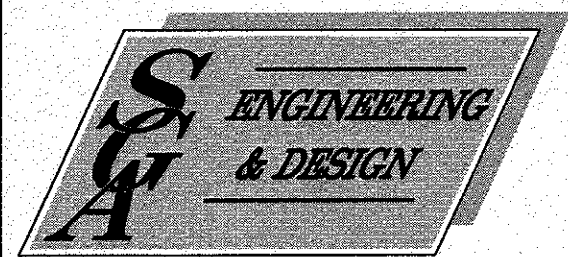
CLEARING AND GRADING PRACTICES SHOULD BE COMPLETED IN SEVERAL PHASES TO AVOID LARGE AREAS OF UNPROTECTED EXPOSED SOIL. EROSION CONTROL SHALL BE IMPLEMENTED ON EACH PHASE BEFORE CONTINUING GRADING.

#### LEGEND

|  |                             |  |                                           |
|--|-----------------------------|--|-------------------------------------------|
|  | FILL AREA                   |  | TEMPORARY SEDIMENTATION PER EC-060        |
|  | CUT AREA                    |  | TEMPORARY SILT FENCE PER EC-040           |
|  | FLOW ARROW                  |  | FINISHED GRADE MAJOR CONTOURS             |
|  | INLET PROTECTION PER EC-095 |  | FINISHED GRADE MINOR CONTOURS             |
|  |                             |  | EXISTING MAJOR CONTOURS                   |
|  |                             |  | EXISTING MINOR CONTOURS                   |
|  |                             |  | GRAVEL CONSTRUCTION ENTRANCE (PER EC-010) |

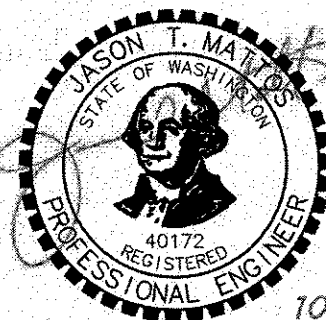


SGA ENGINEERING PLLC - DATE PLOTTED: Oct. 23, 2018 - 1:36 PM SGA DRAWING FILE: W:\DWG\0802 MT SOLO PLO\DRAWINGS\EARLY GRADING\G3.0 - EROSION CONTROL & GRADING PLAN.DWG



CIVIL ENGINEERING ~ LAND PLANNING  
DEVELOPMENT SERVICES  
LANDSCAPE ARCHITECTURE

2005 BROADWAY  
VANCOUVER, WA 98663  
PHONE (360)993-0911  
FAX (360)993-0912



10/23/18

GRADING & EROSION CONTROL PLAN

## MT SOLO SUBDIVISION PHASES I-III

WASHINGTON

CITY OF LONGVIEW

APPROVED

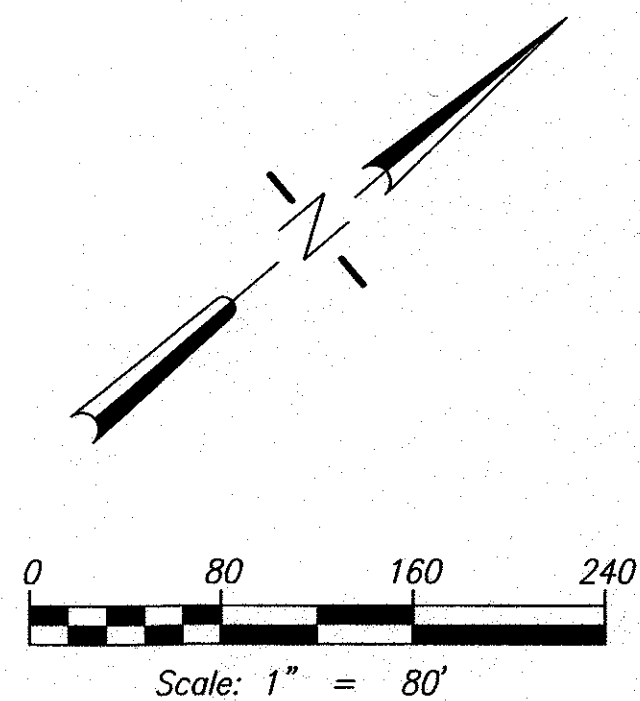
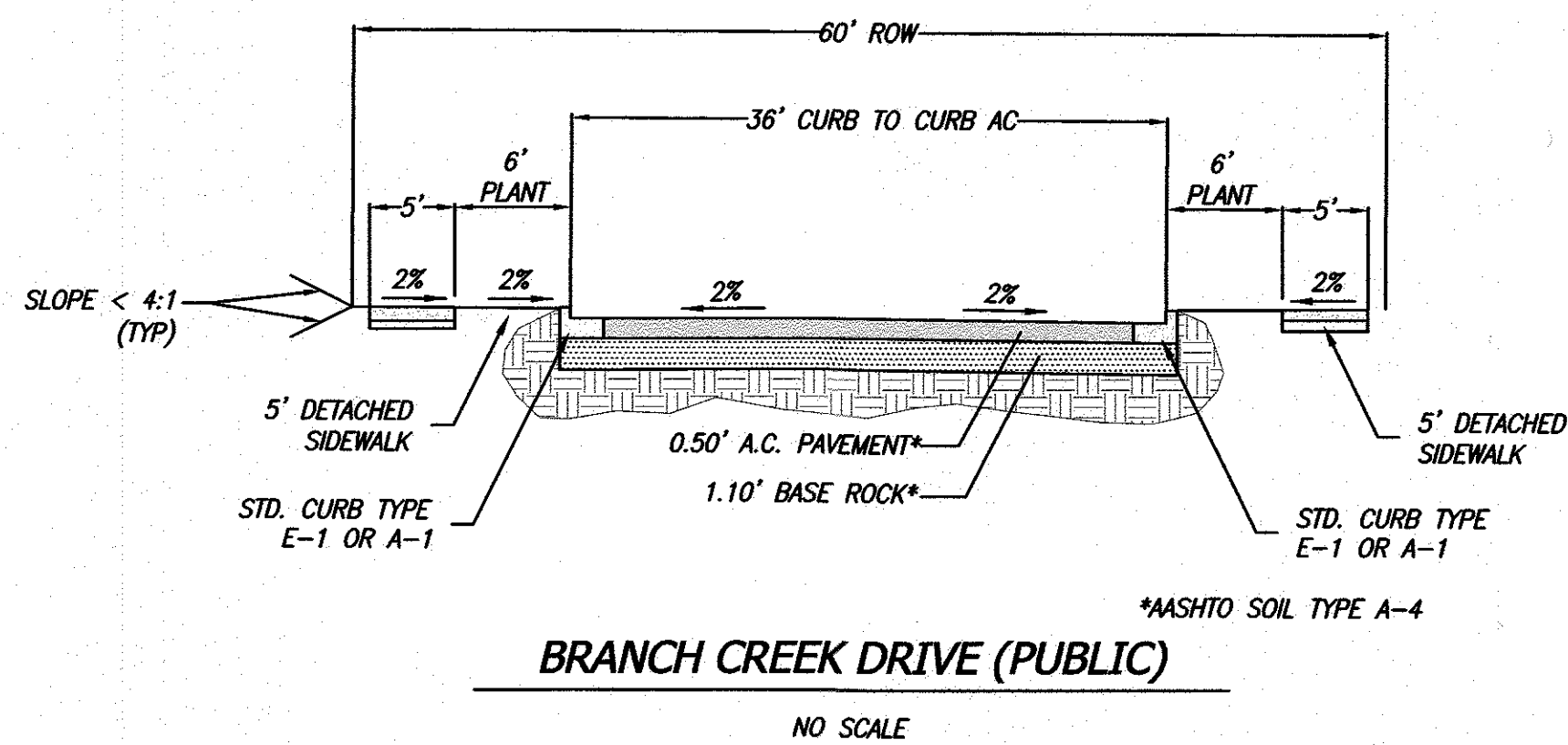
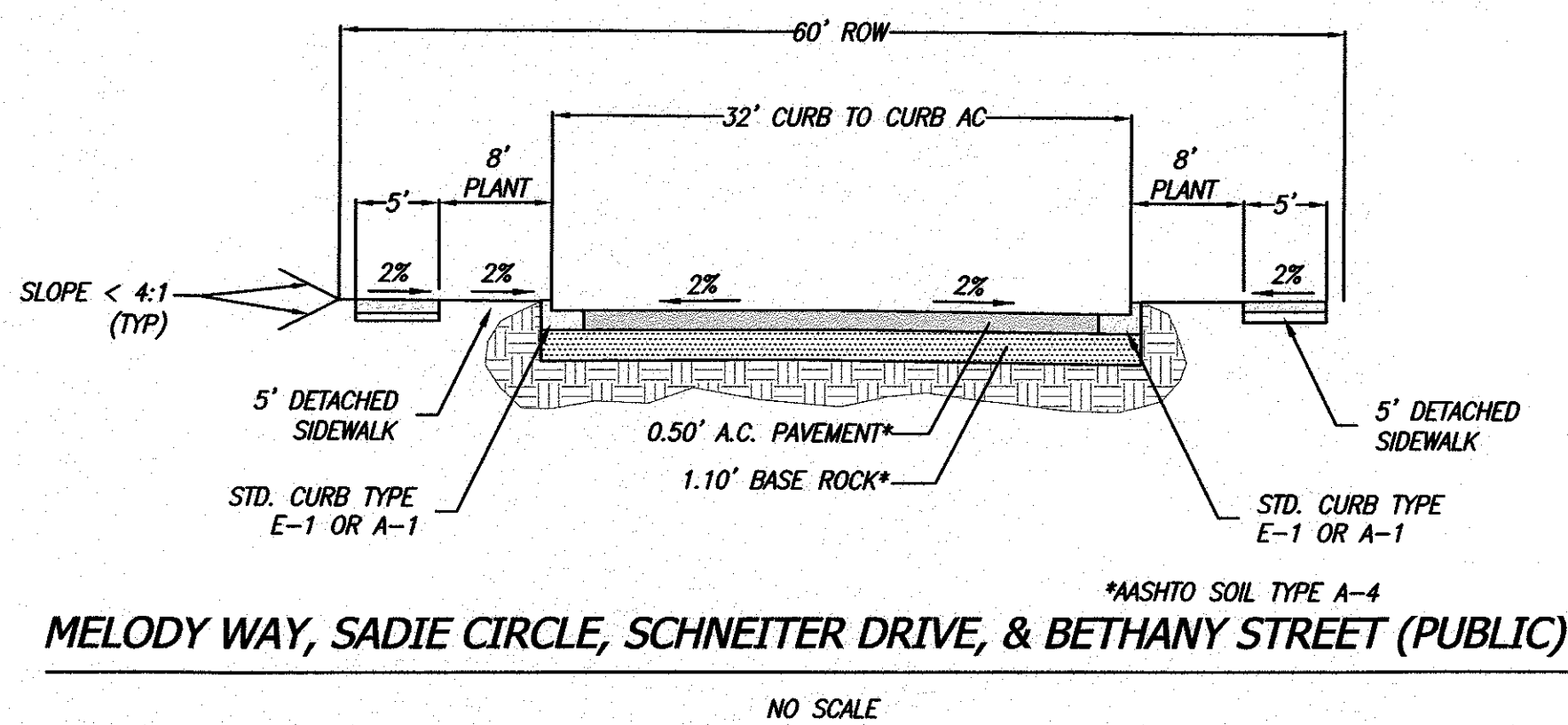
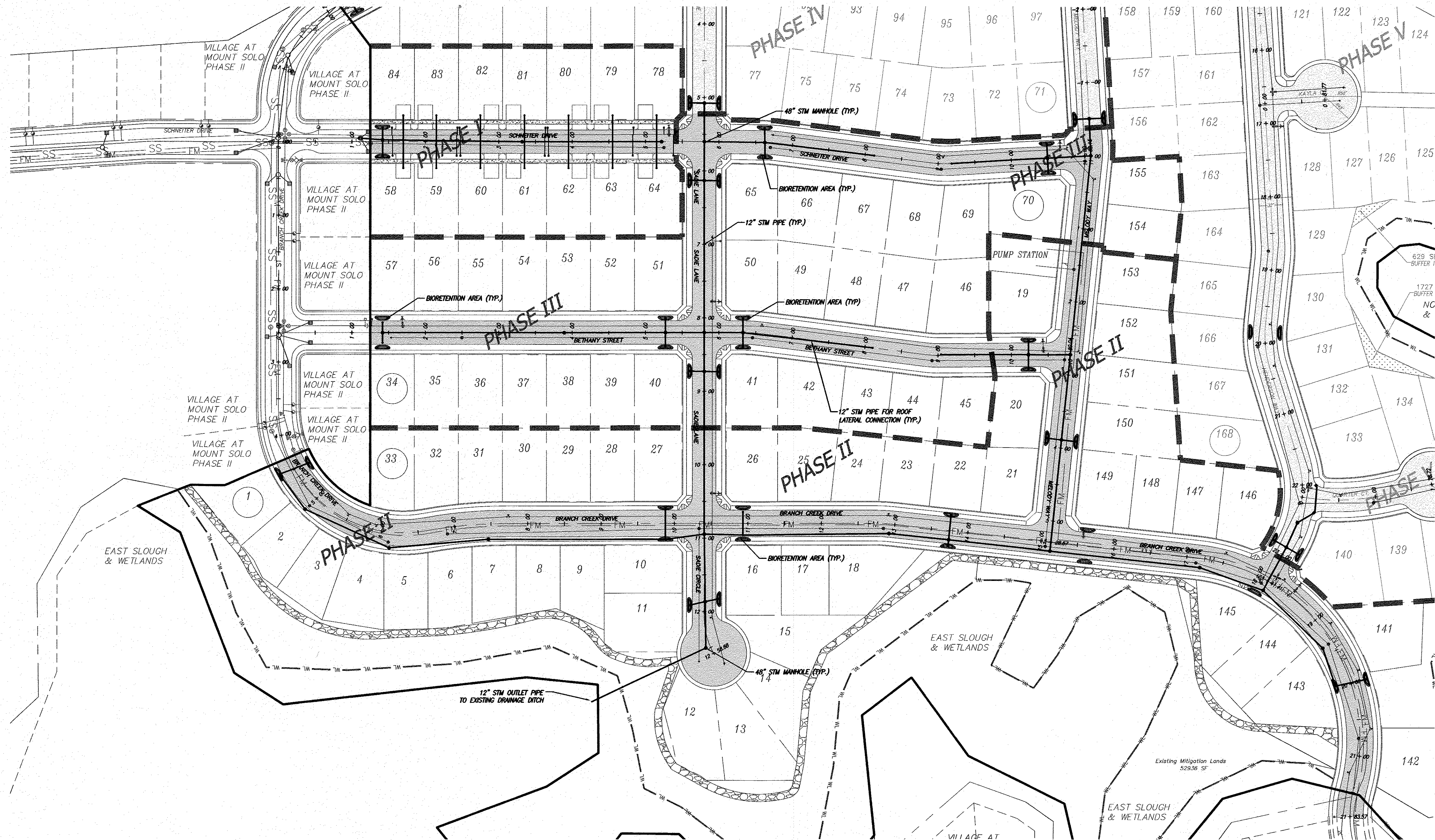
REVISIONS

DESIGNED BY: JAI/ZRC  
DRAWN BY: JAI/ZRC  
CHECKED BY: JTM  
SCALE: 1" = 80'

JOB NUMBER  
0802

SHEET  
G3.0

© SGA ENGINEERING PLLC - DATE PLOTTED: Nov. 21, 2018 - 10:00 AM SGA DRAWING FILE: W:\DWG\0802 MT SOLO PUD\DRAWINGS\PRELIMINARY SHEET SET\PRELIMINARY STREET & STORMWATER PLAN.DWG



**SGA ENGINEERING & DESIGN**  
CIVIL ENGINEERING ~ LAND PLANNING  
DEVELOPMENT SERVICES  
LANDSCAPE ARCHITECTURE  
2005 BROADWAY  
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FAX (360)993-0912  
PHONE (360)993-0911  
WWW.SGAENGINEERING.COM



PRELIMINARY STREET & STORMWATER PLAN  
**MT. SOLO ESTATES  
SUBDIVISION PHASE I-III**  
CITY OF LONGVIEW  
WASHINGTON

| PRELIMINARY  |          |
|--------------|----------|
| REVISIONS    |          |
|              |          |
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|              |          |
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|              |          |
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|              |          |
|              |          |
| DESIGNED BY: | SAT,SEM  |
| DRAWN BY:    | SAT,SEM  |
| CHECKED BY:  | JTM      |
| SCALE:       | 1" = 60' |
| JOB NUMBER   | SHEET    |
| 0802         | PRE6.0   |

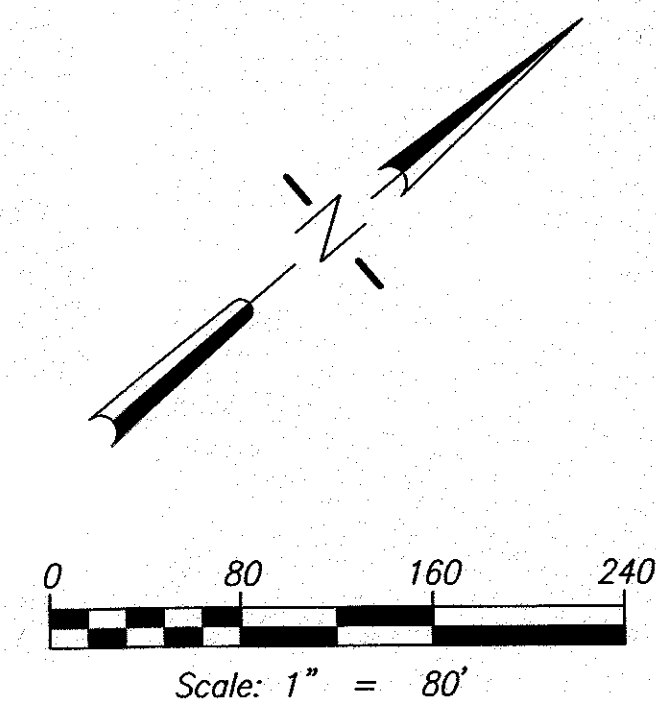
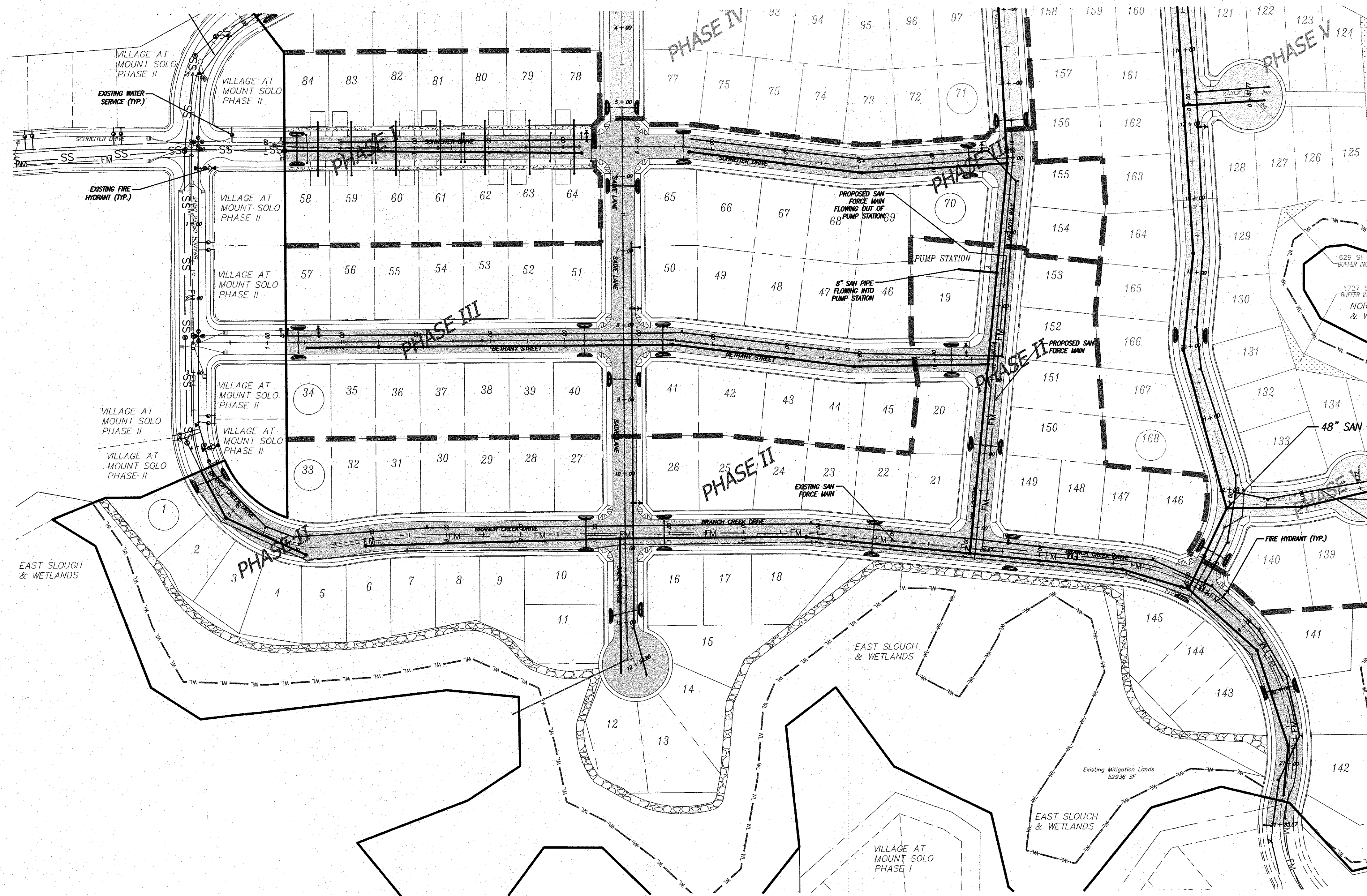


PRELIMINARY UTILITIES PLAN

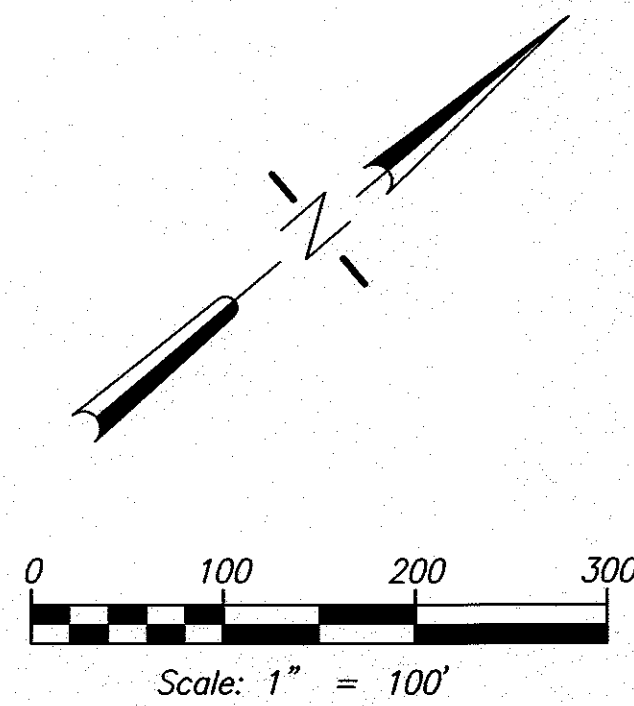
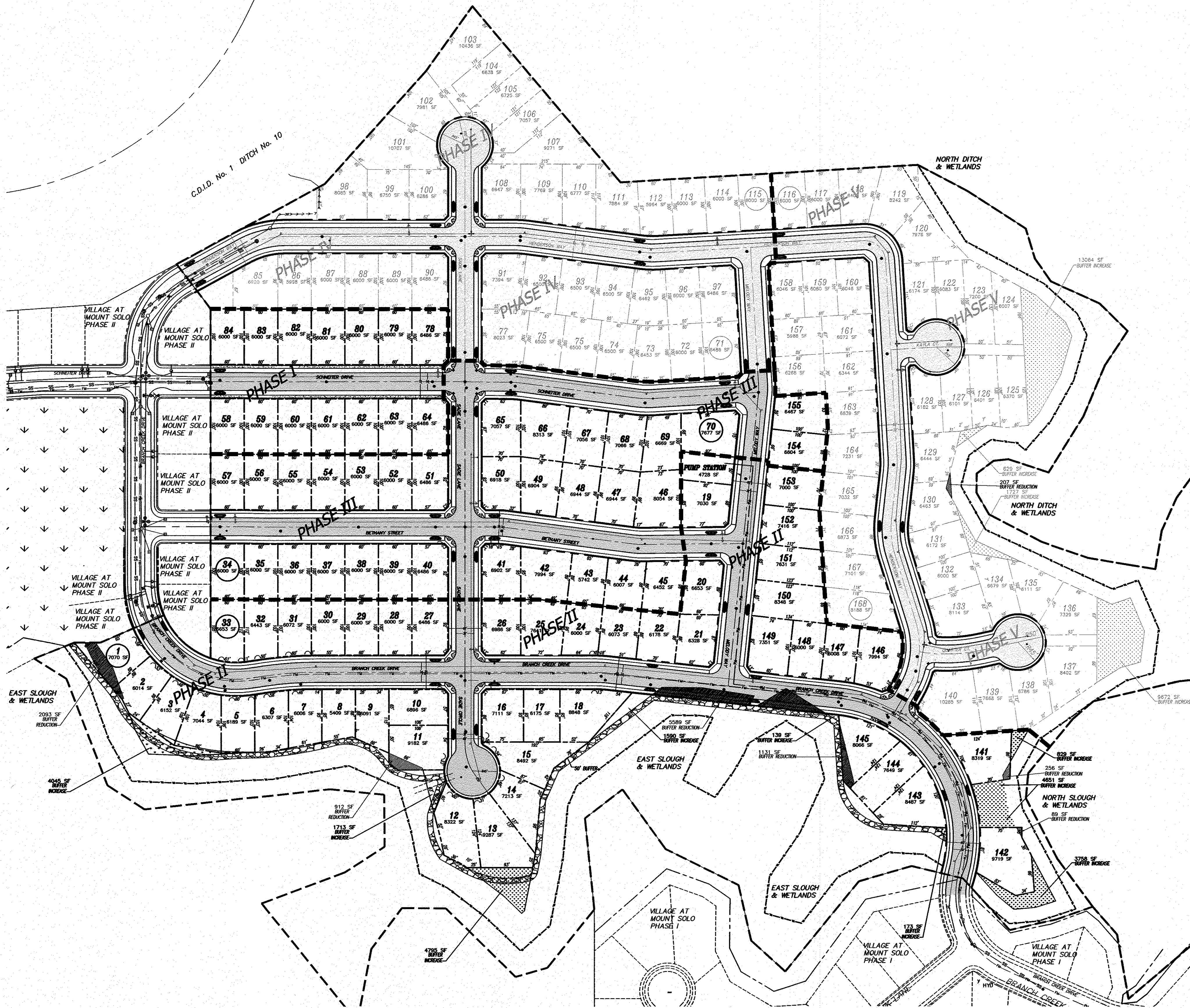
*MT. SOLO ESTATES  
SUBDIVISION PHASE I-III*

CITY OF LONGVIEW

WASHINGTON

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## MT. SOLO ESTATES SUBDIVISION

BEING A PORTION OF SECTIONS 14 & 23, TOWNSHIP 8 NORTH, RANGE 3 WEST OF THE WILLAMETTE MERIDIAN COWLITZ COUNTY, WASHINGTON

PRELIMINARY APPLICATION  
DECEMBER 2017

**APPLICANT:**  
HINTON DEVELOPMENT CORP  
ATTN: ROB HINTON  
14010-A NE 3RD COURT SUITE 106  
VANCOUVER, WA 98685  
PH: 360-546-1220  
EM: rob@hintondevelopment.com

**PROPERTY OWNER:**  
SOLO LLC  
14010-A NE 3RD COURT SUITE 106  
VANCOUVER, WA 98685

**PARCEL # & PROPERTY ADDRESS:**  
107460100  
NO SITUS ADDRESS

**CONTACT PERSON:**  
SGA ENGINEERING, PLLC  
ATTN: SCOTT TAYLOR  
2005 BROADWAY STREET  
VANCOUVER, WA 98663  
PH: 360.993.0911  
FX: 360.993.0912  
EM: STAYLOR@SGAENGINEERING.COM

### EXISTING SITE INFORMATION

|                          |                                                                                                                                                                                                           |
|--------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| EXISTING PARCEL NUMBER   | 107460100                                                                                                                                                                                                 |
| CURRENT USE              | VACANT LAND                                                                                                                                                                                               |
| ZONING DESIGNATION       | R-1                                                                                                                                                                                                       |
| GROSS SITE AREA          | 49.69 ACRES 2,164,651 S.F.                                                                                                                                                                                |
| TRANSIT ROUTES           | NO KNOWN BUS ROUTES WITHIN 1 MILE OF THE SITE.                                                                                                                                                            |
| EXISTING WATER AND SEWER | SEWER SERVICE WILL BE PROVIDED BY THE CITY OF LONGVIEW, PUBLIC WATER SERVICE WILL BE PROVIDED BY THE CITY OF LONGVIEW. NO SEPTIC SYSTEMS ARE KNOWN TO EXIST ON SITE. NO WELLS ARE KNOWN TO EXIST ON-SITE. |

### ENVIRONMENTAL CONDITIONS

THE SITE CONTAINS WETLANDS. THE SITE IS LOCATED IN THE COLUMBIA RIVER WATERSHED.

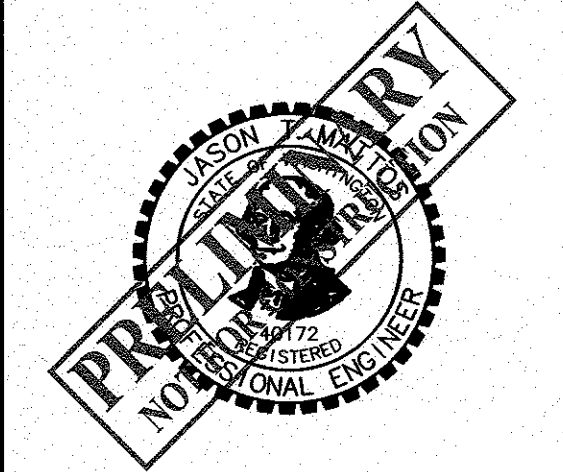
### EXISTING CONDITIONS DISCLAIMER

THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE OBTAINED FROM INFORMATION PROVIDED BY MGS SURVEYING AND PUBLIC SOURCES. SGA ENGINEERING, PLLC DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION.

### PROPOSED SITE INFORMATION

|                              |                                                                                                                                       |
|------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|
| <b>PROPOSED USE</b>          | SINGLE-FAMILY RESIDENTIAL (168 LOT) SUBDIVISION                                                                                       |
| <b>DEVELOPMENT STANDARDS</b> |                                                                                                                                       |
| MINIMUM LOT AREA             | 6,000 SF ALLOWED<br>6,000 SF LOT SIZE PROPOSED                                                                                        |
| MINIMUM LOT WIDTH            | 50' MIN. ALLOWED, 50' MIN. PROPOSED                                                                                                   |
| MINIMUM LOT DEPTH            | N/A                                                                                                                                   |
| FRONT YARD SETBACK           | 25'                                                                                                                                   |
| STREET SIDE YARD SETBACK     | 15'                                                                                                                                   |
| INTERIOR SIDE YARD SETBACK   | 5'                                                                                                                                    |
| REAR YARD SETBACK            | 15'                                                                                                                                   |
| MAXIMUM LOT COVERAGE         | 65%                                                                                                                                   |
| MAXIMUM BUILDING HEIGHT      | 35'                                                                                                                                   |
| <b>UTILITY PROVIDERS</b>     |                                                                                                                                       |
| SEWER                        | CITY OF LONGVIEW                                                                                                                      |
| WATER                        | CITY OF LONGVIEW                                                                                                                      |
| ELECTRICAL                   | COWLITZ PUD                                                                                                                           |
| <b>STORMWATER MANAGEMENT</b> |                                                                                                                                       |
| TREATMENT                    | CITY OF LONGVIEW STANDARDS<br>STORMWATER IS PROPOSED TO BE TREATED USING BIO-RETENTION, SWALES OR OTHER APPROVED BMP'S                |
| DISPOSAL                     | STORMWATER WILL BE RELEASED TO THE EXISTING DRAINAGES SURROUNDING THE SITE. DETENTION WILL BE PROVIDED THROUGH THE DRAINAGE DISTRICT. |

|                                   |              |             |
|-----------------------------------|--------------|-------------|
| <b>PROPOSED SITE AREA SUMMARY</b> | <b>ACRES</b> | <b>S.F.</b> |
| GROSS SITE AREA                   | 49.69        | 2164651     |
| AVERAGE LOT AREA (168 LOTS)       | 0.16         | 6630        |
| PUBLIC RIGHT-OF-WAY DEDICATED     | 10.82        | 471359      |



MASTER PLAN

# MT. SOLO ESTATES SUBDIVISION PHASE I-III

WASHINGTON  
CITY OF LONGVIEW

### PRELIMINARY

#### REVISIONS

REVISED 11-21-18 BY S.A.T.  
- ADDED 2 FIRE HYDRANTS

|              |           |
|--------------|-----------|
| DESIGNED BY: | SAT,SEM   |
| DRAWN BY:    | SAT,SEM   |
| CHECKED BY:  | JTM       |
| SCALE:       | 1" = 100' |

|            |        |
|------------|--------|
| JOB NUMBER | SHEET  |
| 0802       | PRE8.0 |