

MONTICELLO HOTEL

EXTERIOR REMODEL AND SITE IMPROVEMENTS

LEGEND

DETAIL NUMBER

SHEET NUMBER

DETAIL

SECTION LETTER

SHEET NUMBER

PARTIAL BUILDING SECTION

SECTION LETTER

SHEET NUMBER

FULL BUILDING SECTION

SECTION LETTER

SHEET NUMBER

WALL SECTION / STAIR SECTION

DRAWING NUMBER

SHEET NUMBER

INTERIOR ELEVATION

100

DOOR NUMBER

1

KEYNOTES

A

EXTERIOR WINDOW

A

INTERIOR RELITE

A

WALL TYPES

N

GRID LINE

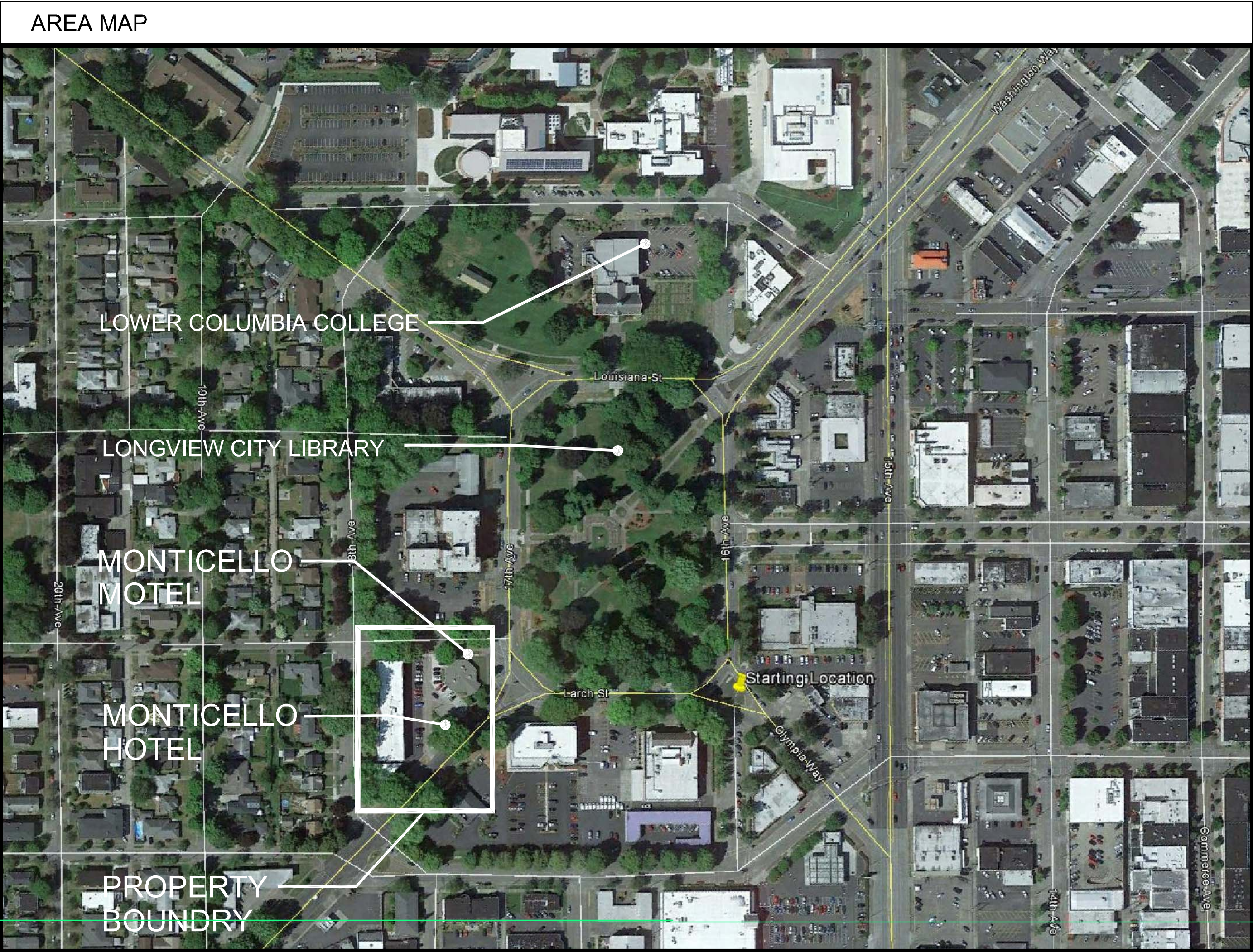
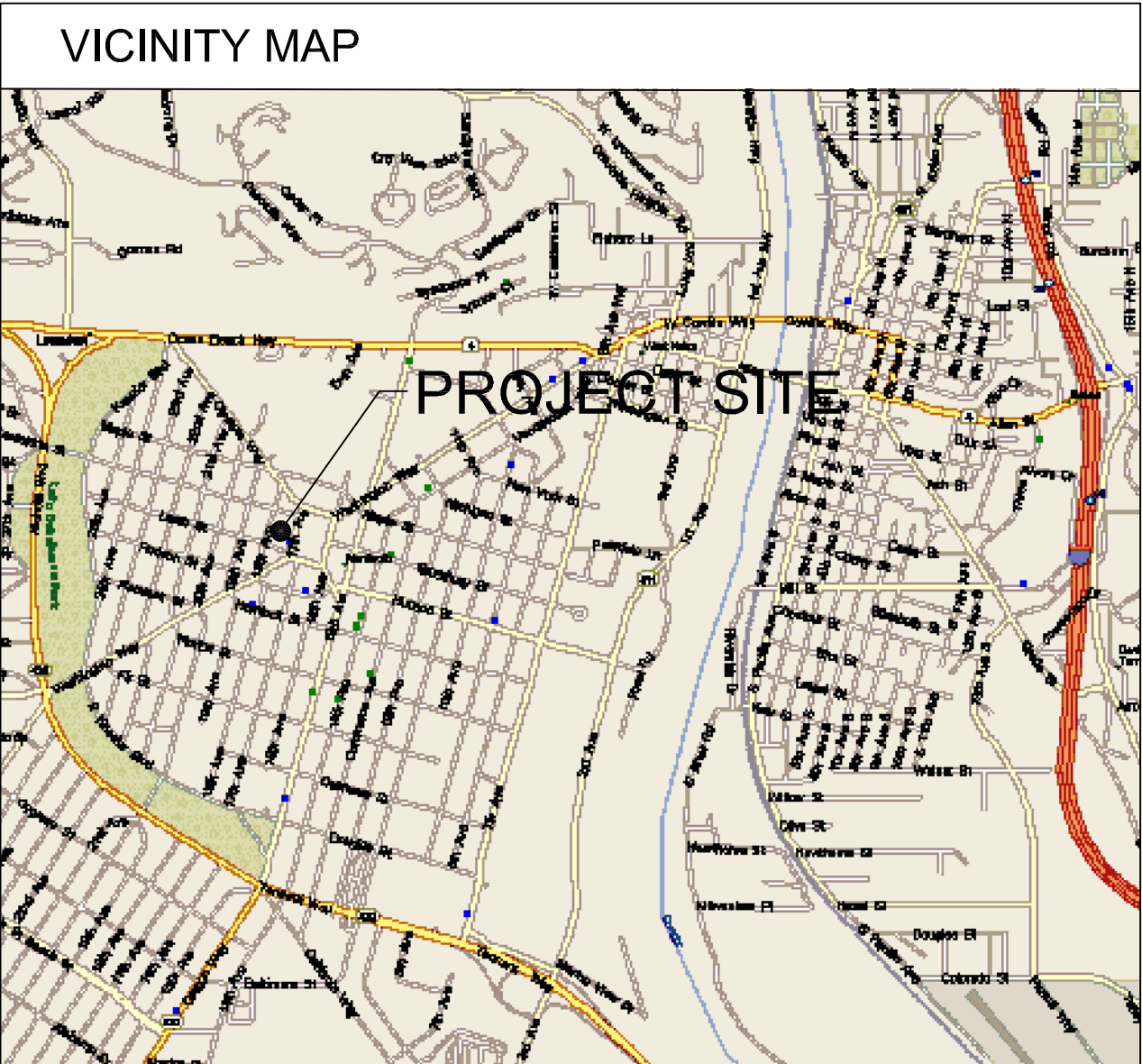
PROJECT TEAM

OWNER

MONTICELLO PLACE, LLC
801 2nd AVENUE, SUITE 800
SEATTLE, WA 98104
PHONE: (206) 853-0805
EMAIL: craig@eb5developments.com
CONTACT: CRAIG DIEFFENBACH

ARCHITECTURAL:

COLLINS ARCHITECTURAL GROUP P.S.
950 12th AVENUE SUITE 200
LONGVIEW, WA 98632
PHONE: (360) 425-0000
EMAIL: craig@collinsarchgroup.com
CONTACT: CRAIG COLLINS



LIST OF ARCHITECTURAL ABBREVIATIONS			
AB	ANCHOR BOLT	GA	GAGE, GAUGE
AC	ACOUSTICAL	GALV	GALVANIZED
ACT	ACOUSTICAL CEILING TILE	GLU LAM	GLUE LAMINATED
ADJ	ADJUSTABLE OR ADJACENT	GWB	GYPSUM WALL BOARD
AFF	ABOVE FINISH FLOOR		
APPROX	APPROXIMATE	H/C	HANDICAPPED
ARCH	ARCHITECTURAL	HB	HOSE BIBB
		HM	HOLLOW METAL
BD	BOARD	HORIZ	HORIZONTAL
BLDG	BUILDING	HVAC	HEATING, VENTILATING & AIR CONDITIONING
BLKG	BLOCKING		
BOT	BOTTOM	HWH	HOT WATER HEATER
		ID	INSIDE DIAMETER
CB	CATCH BASIN / CHALK BOARD	INSUL	INSULATION
CG	CORNER GUARD	INT	INTERIOR
CJ	CONTROL JOINT		
CL	CENTER LINE	JAN	JANITOR
CEM	CEMENTITIOUS		
CLC	CEILING	LAM	LAMINATED(D)
CLR	CLEAR	LAV	LAVATORY
CO	CLEAN OUT	LCB	LIQUID MARKER BOARD
COL	COLUMN		
COMP	COMPOSITION	MFG	MANUFACTURER
CONC	CONCRETE	MAX	MAXIMUM
CONT	CONTINUOUS OR CONTINUE	MDO	MEDIUM DENSITY OVERLAY (PLYWD)
CPT	CARPET	MECH	MECHANICAL
CT	CERAMIC TILE	MIN	MINIMUM
		MIR	MIRROR
DEMO	DEMOLITION	MISC	MISCELLANEOUS
DEPT	DEPARTMENT	MO	MASONRY OPENING
DF	DRINKING FOUNTAIN	MNT'D	MOUNTED
DIA	DIAMETER	MR	MOISTURE RESISTANT
DM	DIMENSION	MTL	METAL
DN	DOWN		
DS	DOWNSPOUT	N	NORTH
DTLS	DETAILS	(N)	NEW
DWGS	DRAWINGS	NIC	NOT IN CONTRACT
		NO	NUMBER
E	EAST	NTS	NOT TO SCALE
E.F.S.	EXTERIOR FINISH SYSTEM		
E.I.	EXPANSION JOINT	OC	ON CENTER
ELEC	ELECTRICAL	OCW	ON CENTER EACH WAY
ELEV	ELEVATION	OD	OUTSIDE DIAMETER
EP	ELECTRICAL PANEL	OF	OWNER FURNISHED - CONTRACTOR INSTALLED
EQ	EQUAL	OFI	OWNER FURNISHED - OWNER INSTALLED
EQUIP	EQUIPMENT		
EXIST OR (E)	EXISTING	P	PAINT
EXT	EXTERIOR	P.B.T. BD	PARTICLE BOARD
FA	FIRE ALARM	PLAM	PLASTIC LAMINATE
FD	FLOOR DRAIN	PLBG	PLUMBING
FDN	FOUNDATION	PLYWD	PLYWOOD
FEC	FIRE EXTINGUISHER CABINET	PNL	PANEL
FI	FIRE HYDRANT	PP	POWER POLE
FIN	FINISHED	PR	PAIR
FIN FLR	FINISHED FLOOR	PSI	POUNDS PER SQUARE INCH
FLR	FLOOR	PSF	POUNDS PER SQUARE FOOT
FOC	FACE OF CONCRETE	PT	PRESSURE TREATED
FOF	FACE OF FINISH	PVC	POLYVINYL CHLORIDE
FOS	FACE OF STUD		
FRP	FIBERGLAS REINFORCED PANEL	QT	QUARRY TILE
FT	FOOT(FEET)		
FTG	FOOTING		
		R	RUBBER
		RAD	RADIUS
		RB	RUBBER BASE
		RD	ROOF DRAIN
		REF	REFRIGERATOR
		REINF	REINFORCE(D)(ING)
		REV	REVISION(S)REVISED
		RM	ROOM
		RO	ROUGH OPENING
		S	SOUTH
		SCWD	SOLID CORE WOOD DOOR
		SGWB	SUSPENDED GRID, GWB PANELS
		SHLVG	SHELVING
		SHT	SHEET
		SHTVN	SHEET VINYL
		SK	SINK
		SPTS	SPECIFICATIONS
		SS	STAINLESS STEEL
		STD	STANDARD
		STL	STEEL
		STOR	STORAGE
		STRUCT	STRUCTURAL
		SQ	SQUARE
		SACT	SUSPENDED ACOUSTIC CEILING TILE
		STV	STAIN/VARNISH
		T	TREAD
		TACKBOARD	TACKBOARD
		TEL	TELEPHONE
		T&G	TONGUE AND GROOVE
		TOC	TOP OF CURB/
		TV	TELEVISION
		TYP	TYPICAL
		UBC	UNIFORM BUILDING CODE
		UG	UNDER GROUND
		UL	UNDER WRITERS LABORATORY
		UTIL	UTILITY
		VCT	VINYL COMPOSITION TILE
		VERT	VERTICAL
		VEST	VESTIBULE
		VT	VINYL TILE
		W	WEST
		W/	WITH
		WO/UT	WITH OUT
		WB	WHITE BOARD
		WC	WATER CLOSET
		WCov	WALL COVERING
		WO	WOOD
		WHTR	WATER HEATER
		WO	WITHOUT
		WP	WATERPROOF

INDEX OF DRAWINGS

ARCHITECTURAL

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A1.1 DRIVEWAY AND PATIO DETAILS
A3.0 FIRST FLOOR PLAN
A4.0 EXTERIOR ELEVATIONS
A8.0 DOOR/ WINDOW DETAILS
A8.1 DOOR/ WINDOW DETAILS

PROJECT DESCRIPTION

THIS PROJECT INCORPORATES:

- REMODEL OF THE BUILDING EXTERIOR AS APPROVED BY THE LONGVIEW HISTORICAL COMMISSION. DESIGN INCLUDES NEW RECESSED STOREFRONT DOORS AND STOREFRONT WINDOWS AT NE AND SE CORNERS AND (2) NEW ENTRANCE DOORS AT THE PORTICO TO REPLACE EXISTING DOORS. REPLACEMENT FENESTRATION TO BE IN CHARACTER WITH THE ORIGINAL LOOK. (2) NEW (6) PANE WINDOWS AND A NEW GLASS DOOR WITH SIDELITES AND TRANSOM ARE PROPOSED AT THE ORIGINAL WINDOW OPENINGS AT THE WEST WALL OF THE CRYSTAL BALLROOM EVENT CENTER. A NEW REPLACEMENT DOOR AND SIDELITE IS PROPOSED FOR THE NORTH (SIDE) ENTRANCE. A NEW STOREFRONT DOOR AND STOREFRONT WINDOWS ARE PROPOSED FOR THE FUTURE GIFT SHOP. A NEW (6) PANE WINDOW LOCATED AT THE NORTH WALL OF THE FUTURE SPEAK EASY PUBLIC HOUSE.
- RELOCATION OF EXISTING SOUTHERN DRIVEWAY OFF OF 17TH AVE 14 FT. TO THE SOUTH TO PROVIDE FOR AN ACCESSIBLE PEDESTRIAN RAMP AND BETTER CAR ACCESS TO THE SOUTHERN PARKING LOT FROM 17TH.
- NEW PATIO'S AT NE AND SE CORNERS OF BUILDING FOR FUTURE BUFFALO BAR & GRILL AND COFFEE BAR TENANTS...

CODE REVIEW

THIS CODE REVIEW IS COMPREHENSIVE AND CONSIDERS THE CURRENT SHELL AND COMMON AREA IMPROVEMENTS PERMIT PLUS OCCUPANCIES AND EGRESS FOR FUTURE, BUFFALO BAR AND GRILL, TI, COFFEE BAR TENANT, SPEAK EASY PUBLIC HOUSE, 2ND FLOOR HOTEL AND 3RD THROUGH 6TH FLOOR APARTMENTS.

ZONING (LONGVIEW MUNICIPAL CODE)

JURISDICTION:

CITY OF LONGVIEW, WA

ZONE:

C-C, CIVIC CENTER DISTRICT

PERMITTED USE:

PER LMC SEC 19.39.010, HOTELS, MOTELS, APARTMENTS, COFFEE BAR ARE PERMITTED USES. HOTELS AND MOTELS MAY PROVIDE OTHER RELATED AND INTEGRATED SERVICES BY SPECIAL PERMIT UNDER CHAPTER 19.12 LMC. IF SUCH SERVICES ARE NORMALLY AND CUSTOMARILY AVAILABLE IN SUCH OCCUPANCIES (RESTAURANTS, LOUNGES, GIFT SHOPS).

MOTEL SIZE REQUIREMENTS:

PER LMC SEC 19.39.040 ALL MOTELS ERRECTED OR ALTERED SHALL PROVIDE DWELLING UNITS AVERAGING 320 SQUARE FEET OR MORE, EXCLUSIVE OF COOKING UNITS AND ANY CARETAKERS' UNIT; PROVIDED, NO UNIT SHALL HAVE LESS THAN 280 SQUARE FEET AND NO COOKING UNIT SHALL HAVE LESS THAN 400 SQUARE FEET. ALL MEASUREMENTS SHALL BE BASED ON INSIDE WALL MEASUREMENTS.

YARD REQUIREMENTS:

PER LMC 19.39.050 FRONT YARDS SHALL HAVE A DEPTH OF NOT LESS THAN 15 FEET AND A SIDE YARD ON EACH SIDE OF THE BUILDING HAVING A WIDTH OF NOT LESS THAN FOUR FEET, EXCEPT THAT THE SIDE YARD OF A CORNER LOT SHALL BE NOT LESS THAN 20 FEET IN WIDTH ALONG THE FLANKING OR SIDE STREET LINE.

OFF STREET PARKING:

PER LMC 19.39.060, 87 STALLS PROVIDED.

BUILDING CODE (2015 IBC WITH WASH AMENDMENTS)

OCCUPANCY:

A-2 1ST FLOOR RESTAURANT, PUBLIC HOUSE, COFFEE BAR
M 1ST FLOOR GIFT SHOP
S-2 2ND FLOOR LAUNDRY PLUS BASEMENT & MEZZANINE STORAGE
R-1 2ND FLOOR HOTEL ROOMS
R-2 APARTMENTS

IT IS PROPOSED TO CONTINUE THE SAME OCCUPANCIES IN THE SAME LOCATIONS AS WHAT EXISTS CURRENTLY AND HISTORICALLY. THE GROUND FLOOR WOULD DEVELOP A NEW BUFFALO BAR & GRILL RESTAURANT AT THE CURRENT GINGER RESTAURANT LOCATION AT THE SE CORNER, A COFFEE BAR TENANT AT THE NE CORNER, CONTINUE THE EVENT CENTER AT THE CRYSTAL BALL ROOM, AND DEVELOP A PUB AT THE NW CORNER. THE 2ND FLOOR WOULD BE RENOVATED FOR 21 HOTEL ROOMS AND SUITES, THE 3RD THROUGH 6TH FLOORS WOULD BE RENOVATED FOR APPROXIMATELY 10 APARTMENT UNITS PER FLOOR.

EXIST. CONSTRUCTION TYPE:

III-A NOT SPRINKLERED. EXIST. CONSTRUCTION IS CIP CONCRETE FRAME W/ CONCRETE COL'S, BEAMS, PAN-JOIST FLOOR/ ROOF STRUCTURE, CONC FLOOR AND ROOF SLAB, CLAY TILE AND PLASTER PARTITIONS AND NON-LOAD BEARING CLAY TILE AND BRICK VENEER EXTERIOR WALL. THERE IS A SINGLE STORY 3,200 S.F. ADDITION AT THE NW CORNER OF TYPE III-A CONSTRUCTION WITH CIP CONCRETE WALLS AND INTUMESCENT FIRE PROTECTED STEEL ROOF STRUCTURE.

ALLOWABLE BLDG HEIGHT:

PER TABLE 504.3, STRUCTURE EXCEEDS ALLOWABLE BLDG HEIGHT OF 65' FOR NON-SPRINKLERED BLDGS. STRUCTURE IS APPROXIMATELY 78' TALL. EXCEPTION IS GRANDFATHERED IN.

ALLOWABLE NO. STORIES:

R-1 & R-2, TYPE III-A = 4 STORIES ABOVE GRADE PLANE. BUILDING HAS (6) STORIES AND EXCEEDS MAXIMUM BUT IS GRANDFATHERED IN.

ALLOWABLE AREA:

FOR A-2, TYPE III-A NOT SPRINKLERED = 14,000 SQ.FT. PER FLOOR ALLOWED. PROPOSED A-2 OCC. IS 10,000 S.F. OK.

FOR R-1, R-2, TYPE III-A NOT SPRINKLERED = 24,000 SQ.FT. PER FLOOR ALLOWED.
2ND AND 3RD FLOOR AREA = 12,775 S.F. PER FLOOR. OK.
4TH, 5TH, AND 6TH FLOOR AREA = 8,480 S.F. PER FLOOR. OK.

MARK

DATE

DESCRIPTION

COLLINS

ARCHITECTURAL GROUP, P.S.

950 12th AVE, SUITE 200
LONGVIEW, WA 98632
PHONE: 360-425-0000
E-MAIL: CRAIG@COLLINSARCHGROUP.COM

4331

REGISTERED ARCHITECT

CRAIG M. COLLINS
STATE OF WASHINGTON

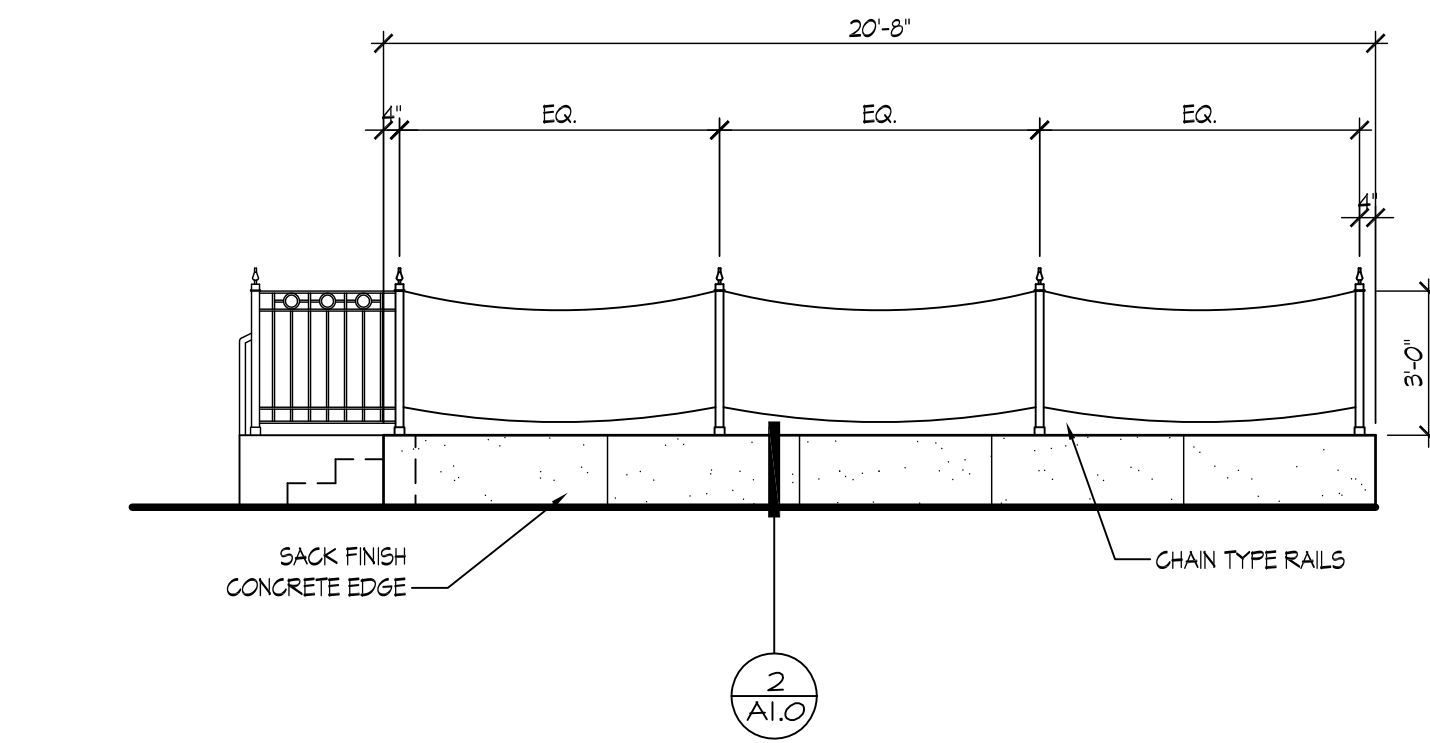
MONTICELLO HOTEL

EXTERIOR REMODEL & SITE IMPROVEMENTS

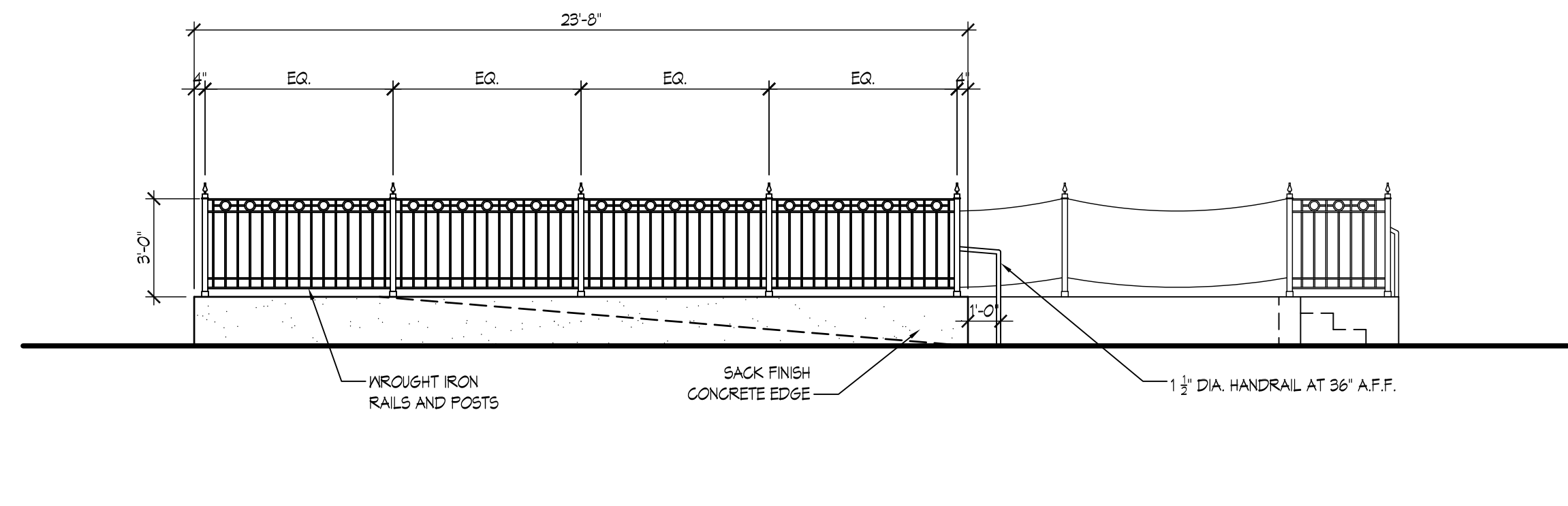
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OCT 6, 2016

COVER SHEET

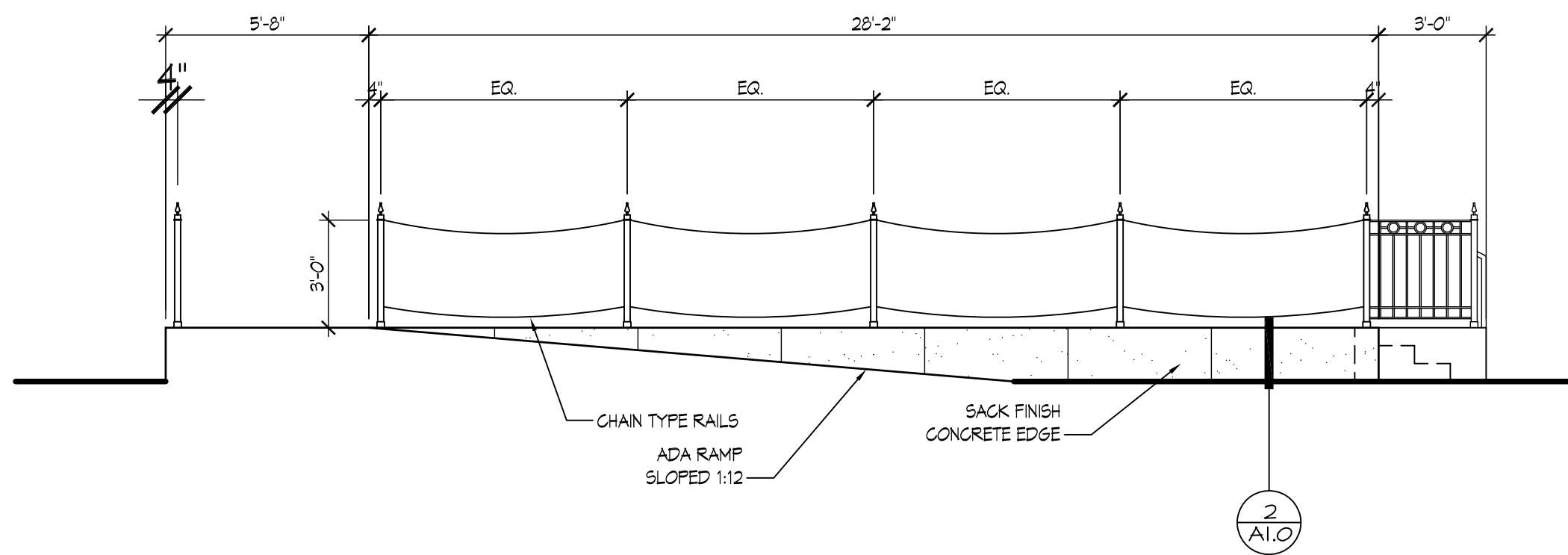
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A0.0



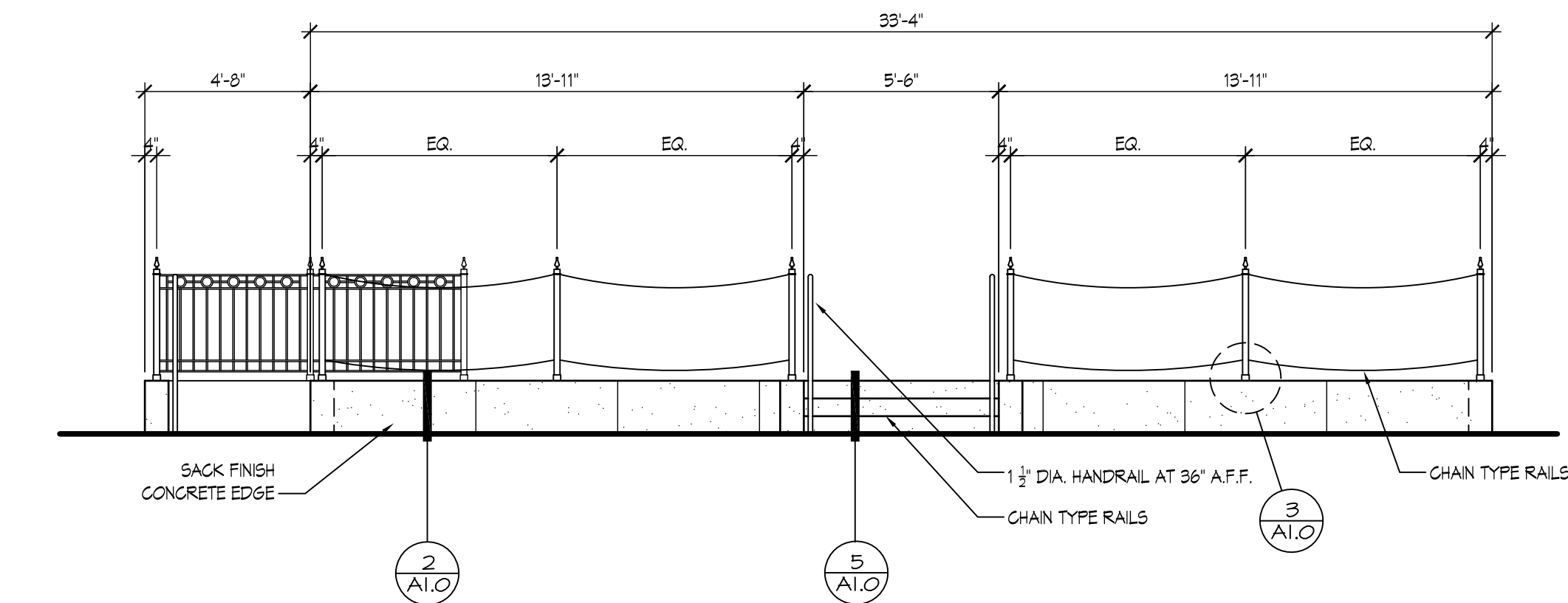
1
A1.0
EXTERIOR ELEVATION NORTH
SCALE: 1/4"=1'-0"



2
A1.0
EXTERIOR ELEVATION SOUTH
SCALE: 1/4"=1'-0"



3
A1.0
EXTERIOR ELEVATION SOUTH
SCALE: 1/4"=1'-0"



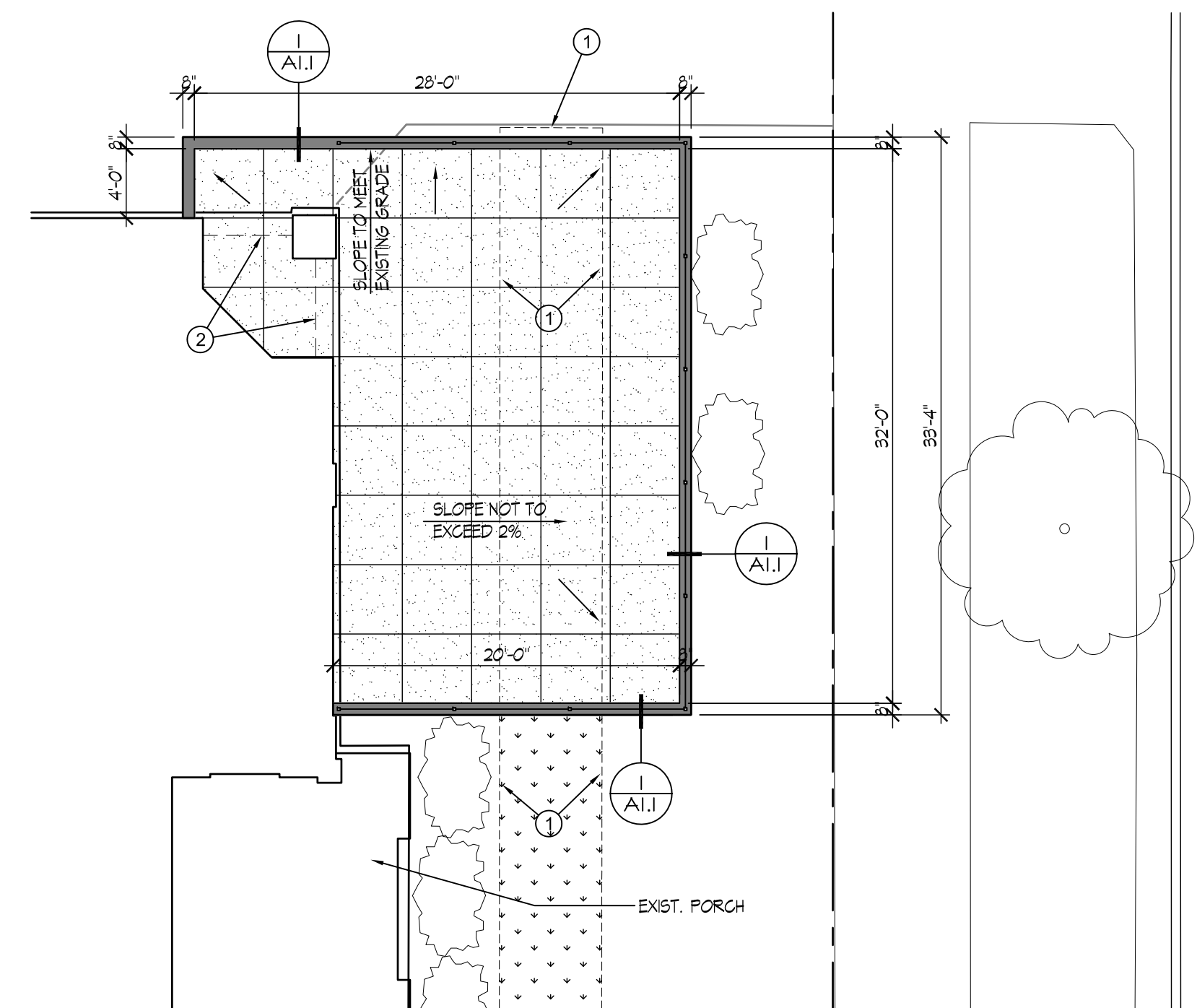
4
A1.0
EXTERIOR ELEVATION EAST
SCALE: 1/4"=1'-0"

DEMO KEYNOTES

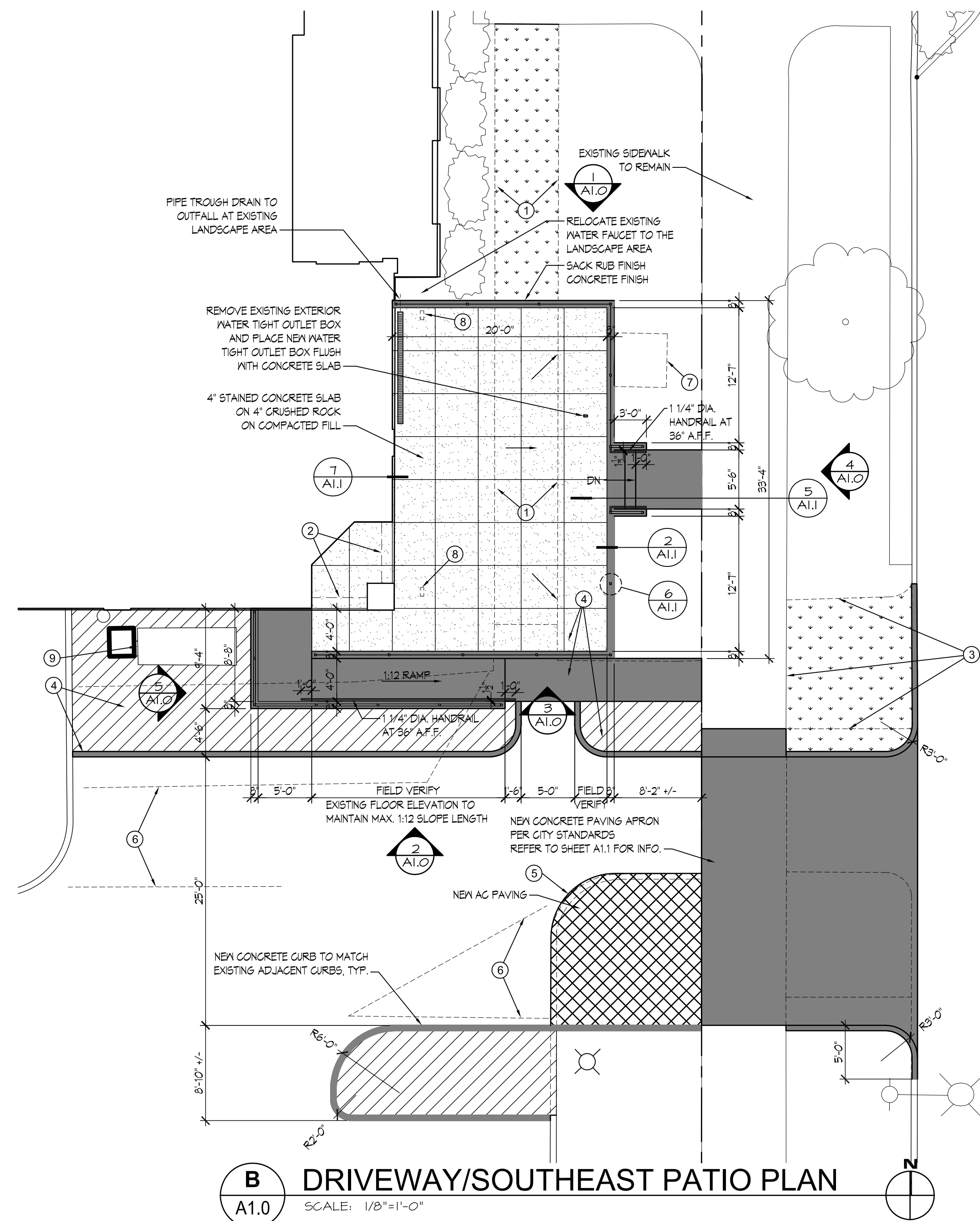
- 1 REMOVE EXISTING CONCRETE SIDEWALK.
- 2 REFER TO FIRST FLOOR BUILDING DEMO PLAN.
- 3 REMOVE EXISTING CONCRETE PAVING.
- 4 REMOVE EXISTING AC PAVING.
- 5 REMOVE EXISTING CONCRETE CURB.
- 6 REMOVE EXISTING PAINTED PARKING STRIPE.
- 7 REMOVE EXISTING BRICK PEDESTAL.
- 8 REMOVE EXISTING EXTERIOR UP LIGHT FIXTURE.
- 9 EXISTING UTILITY HOT BOX TO REMAIN.

LEGEND

- | | |
|--|---|
| | NEW LANDSCAPING AREA |
| | NEW 4" CONCRETE SLAB W/
48"x48" SOFT CUT JOINTS
AND CUSTOM STAIN FINISH |
| | NEW CONCRETE SLAB DRIVE /
SIDEWALK / CURB |
| | NEW AC PAVING AREA |
| | NEW LAWN AREA |

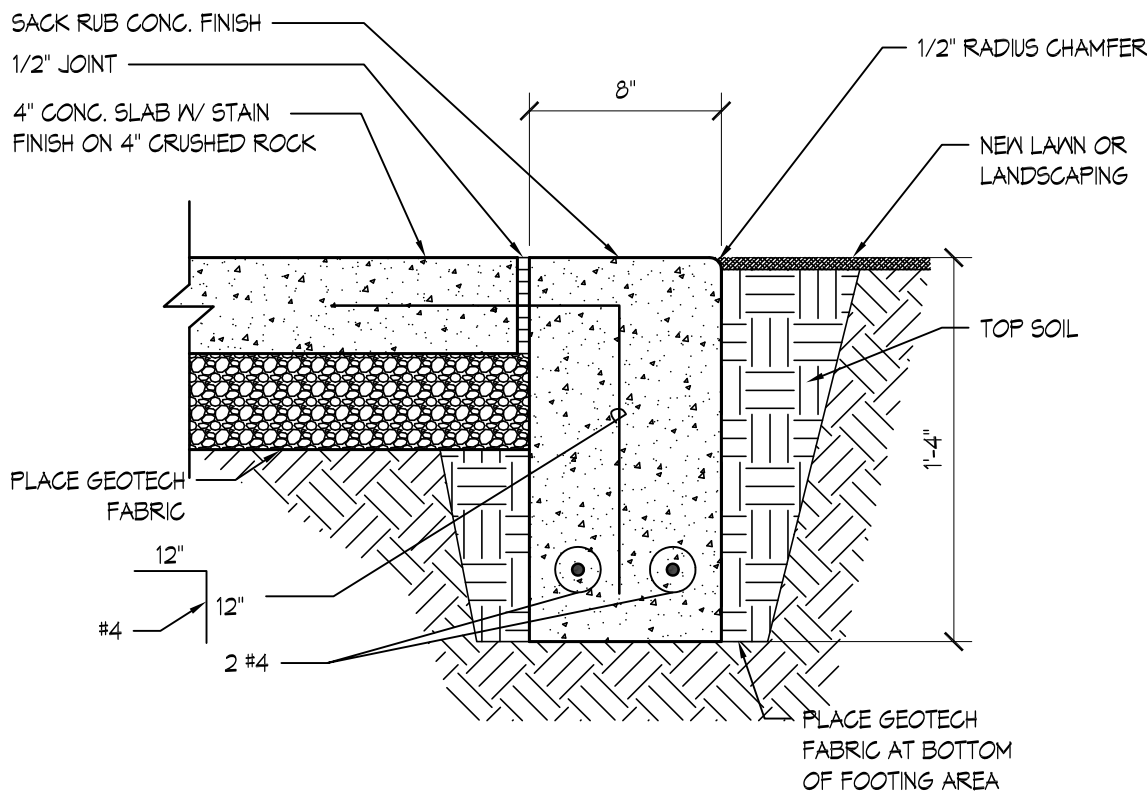


A
A1.0
NORTHEAST PATIO PLAN
SCALE: 1/8"=1'-0"

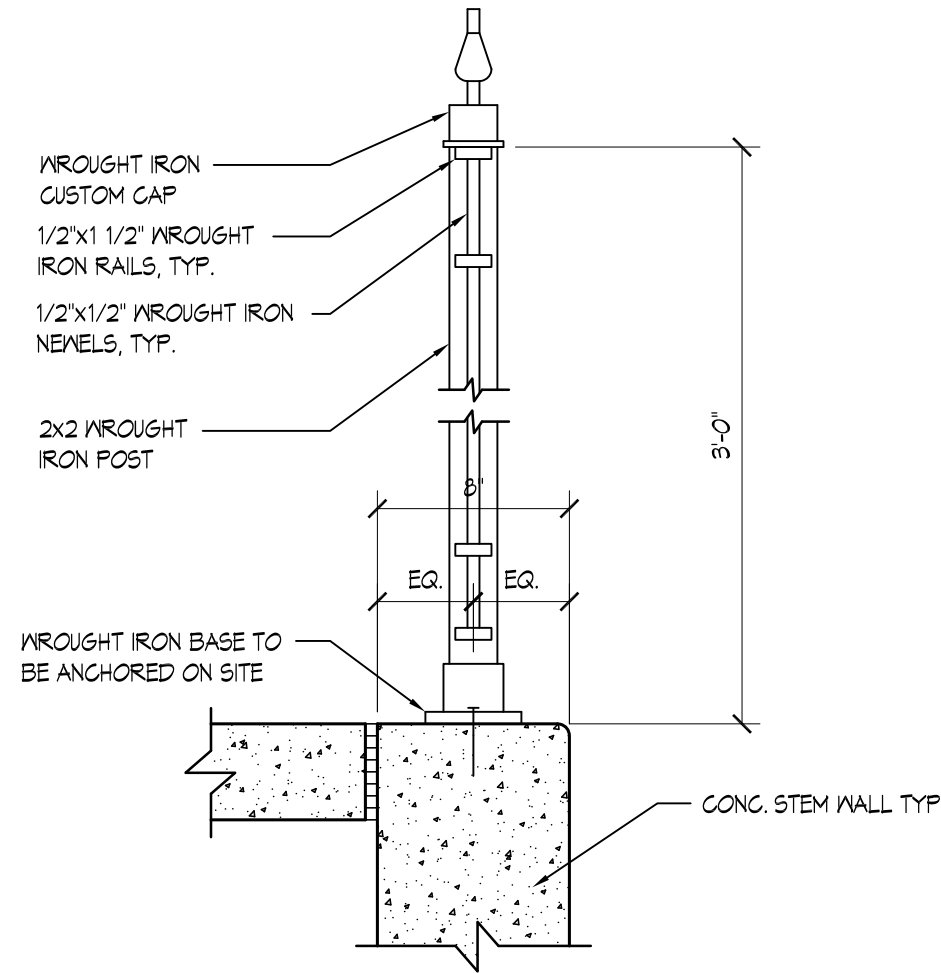


B
A1.0
DRIVEWAY/SOUTHEAST PATIO PLAN
SCALE: 1/8"=1'-0"

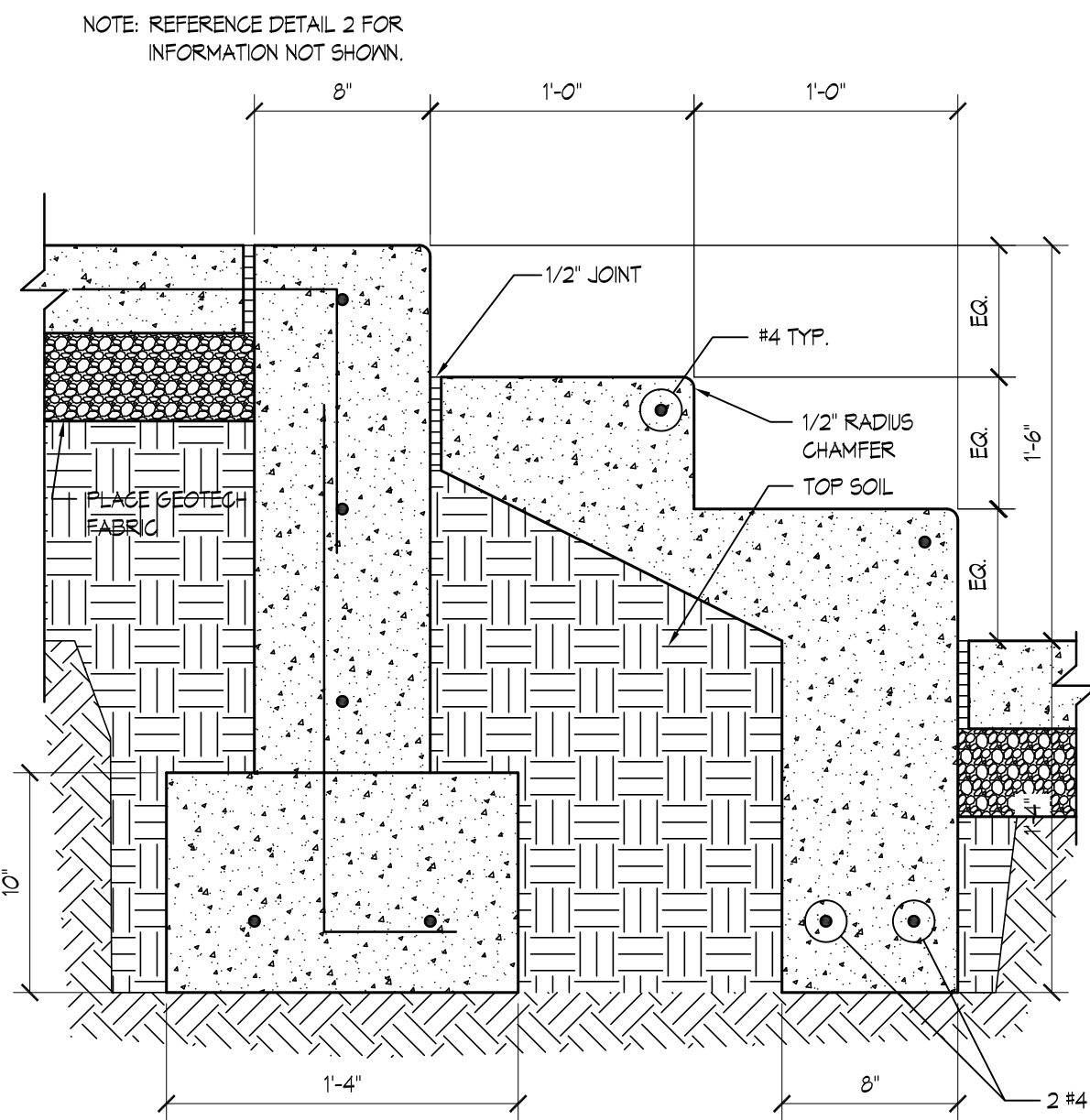
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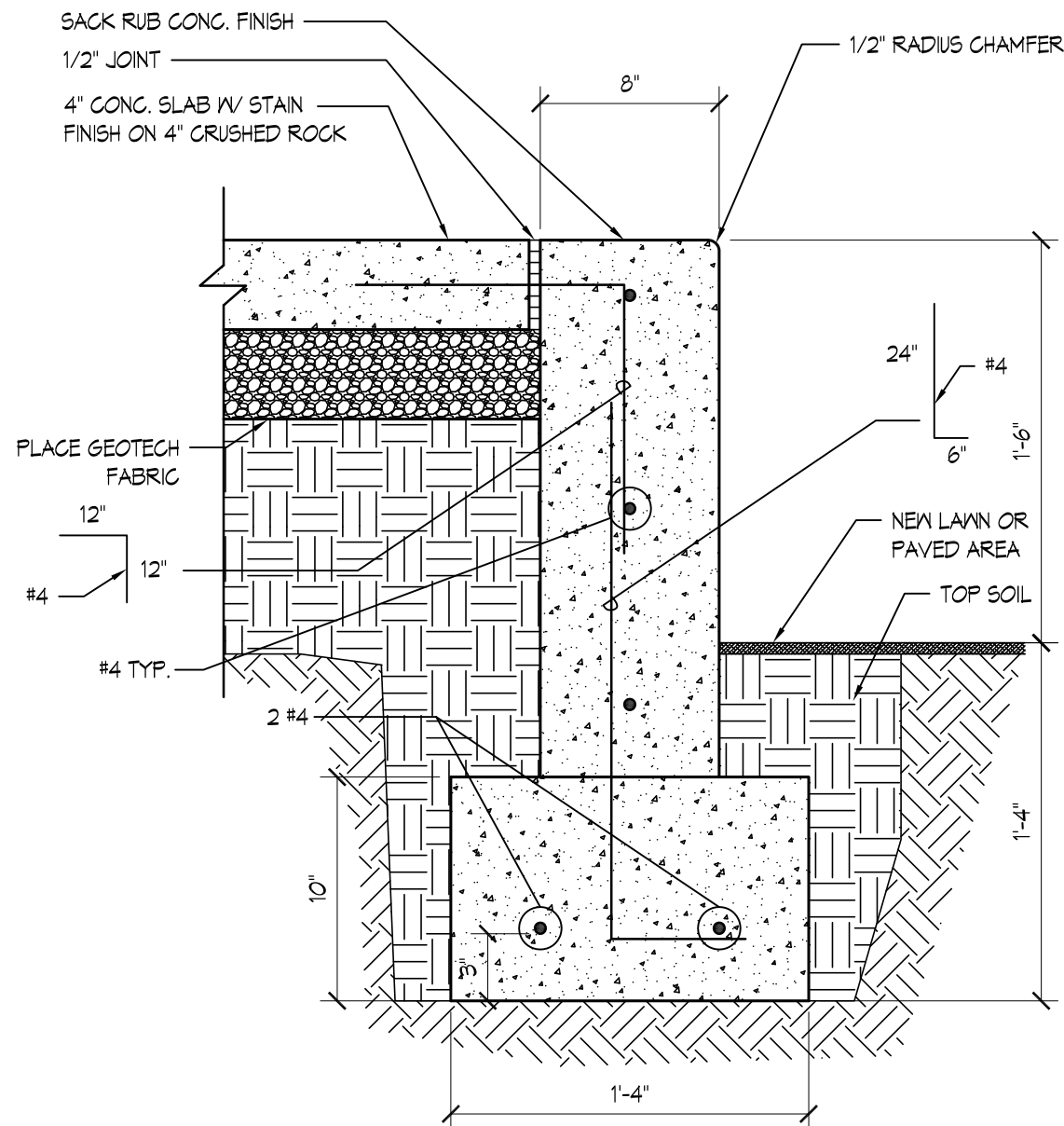
1 CURB EDGE DETAIL
A1.1 SCALE: 1 1/2" = 1'-0"



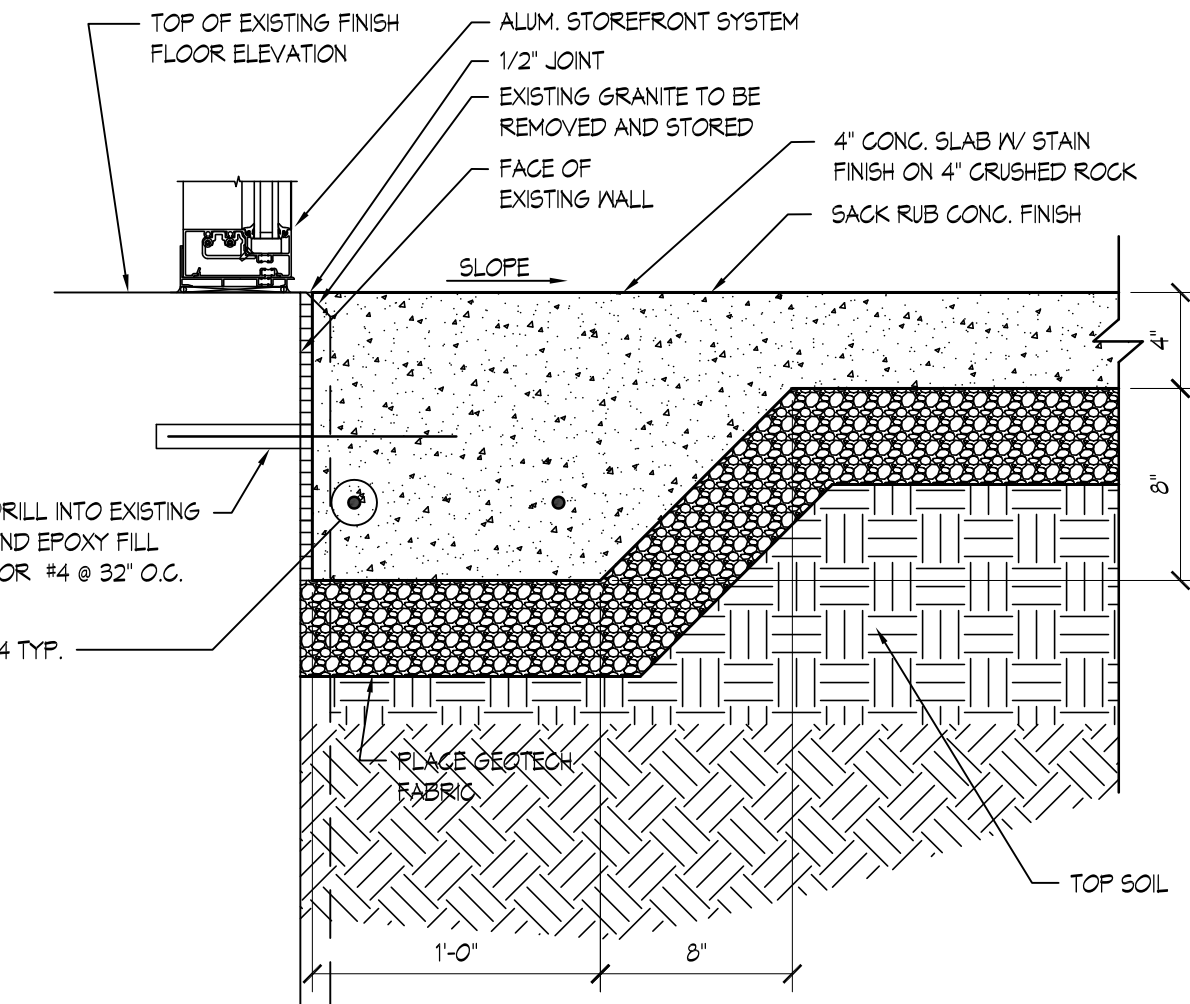
6 FENCE POST BASE DETAIL
A1.1 SCALE: 1 1/2" = 1'-0"



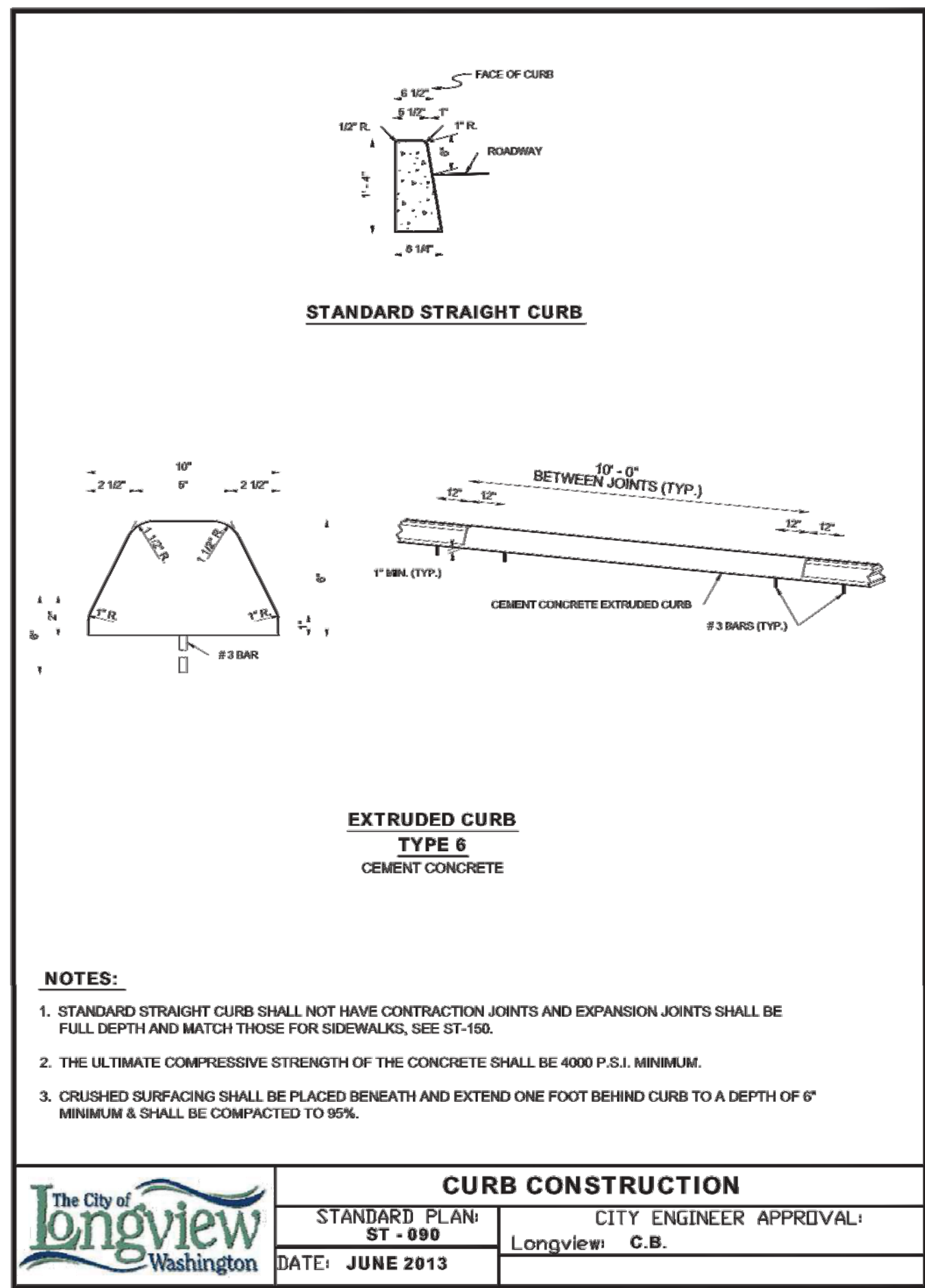
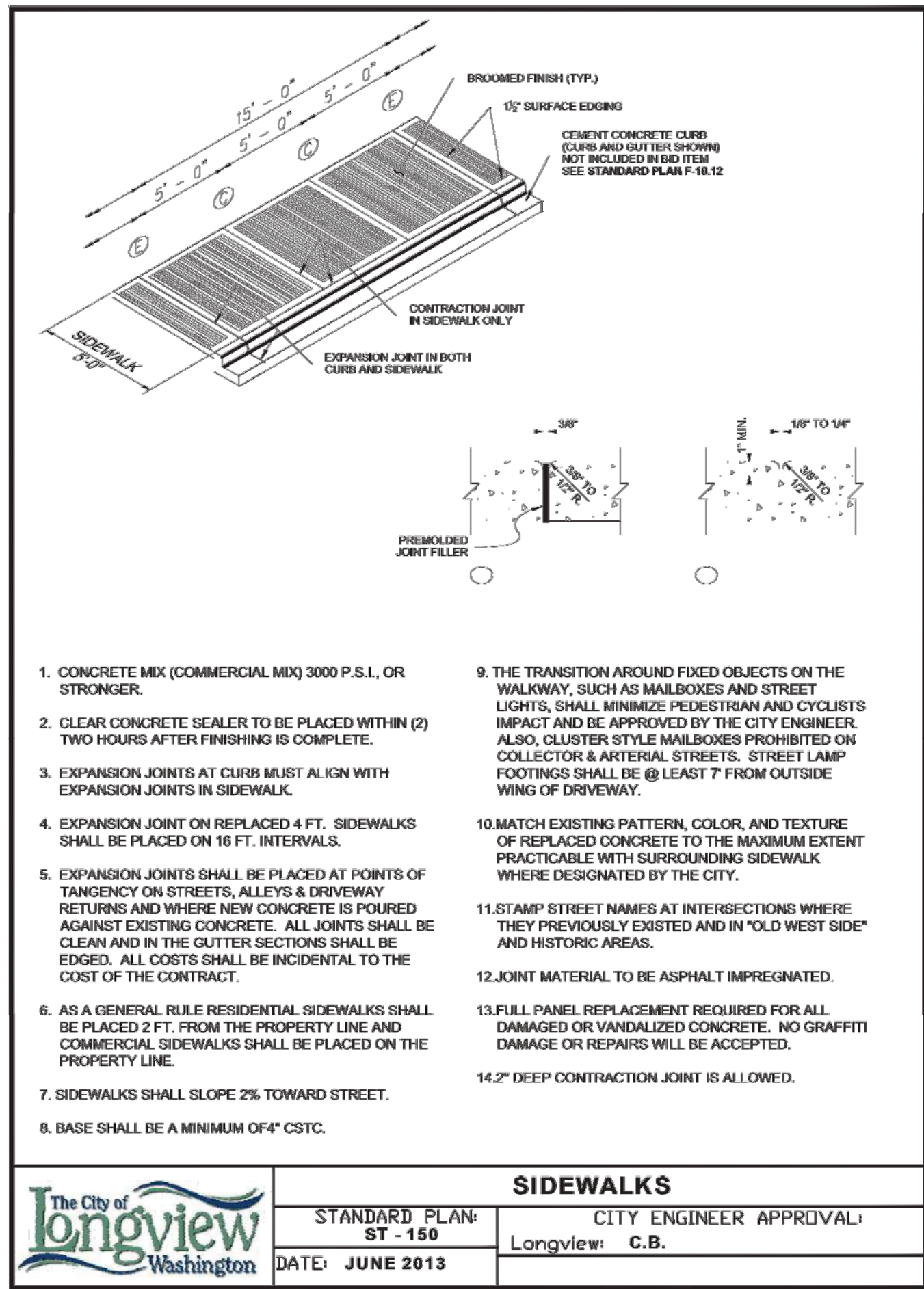
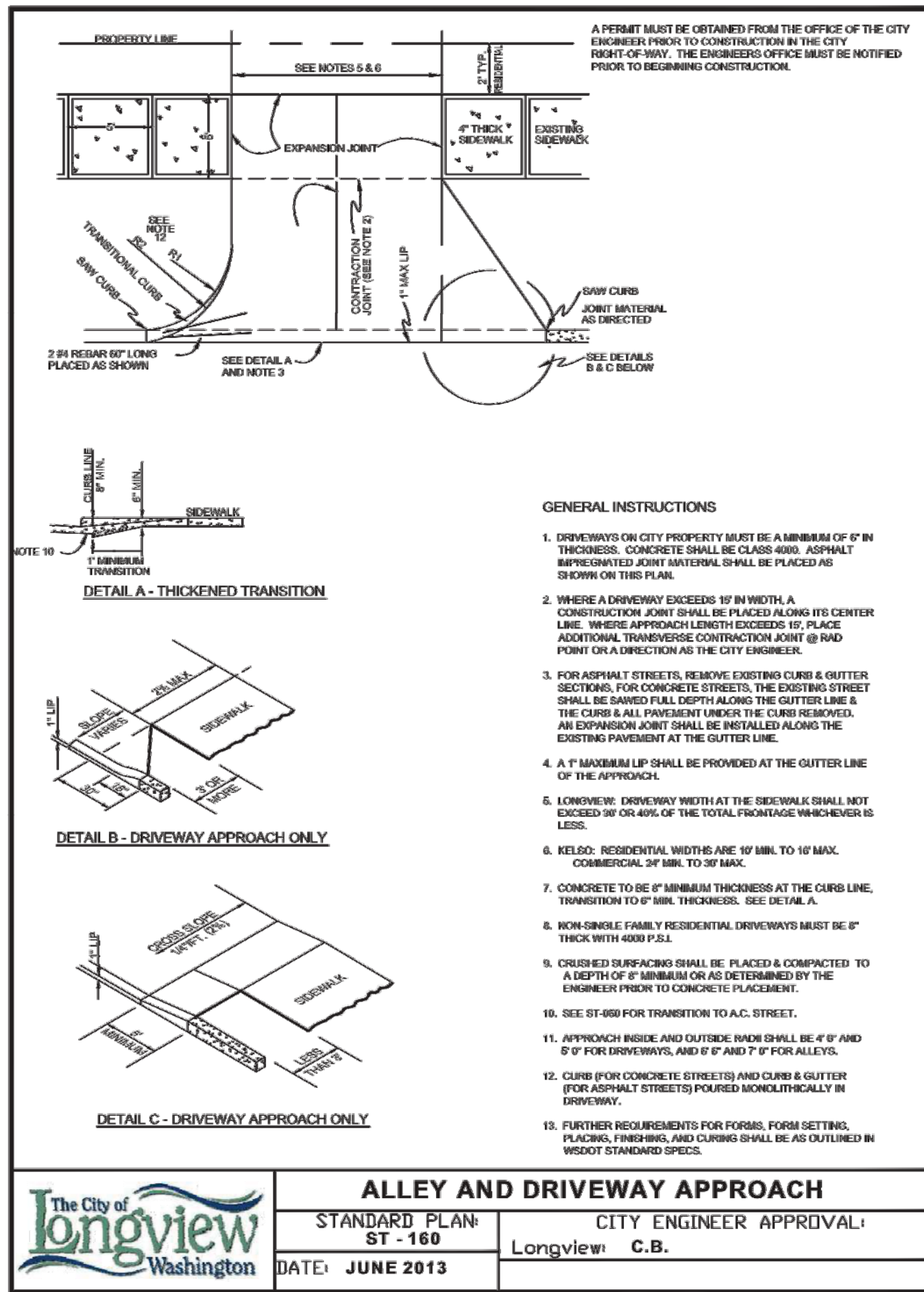
11 STAIR DETAIL
A1.1 SCALE: 1 1/2" = 1'-0"



2 STEM WALL DETAIL
A1.1 SCALE: 1 1/2" = 1'-0"



7 CONC. SLAB DETAIL
A1.1 SCALE: 1 1/2" = 1'-0"



CURB CONSTRUCTION
STANDARD PLAN
ST - 890
DATE: JUNE 2013
CITY ENGINEER APPROVAL:
Longview: C.B.

MARK	DATE	DESCRIPTION
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COLLINS
ARCHITECTURAL GROUP, P.S.
950 12th AVE., SUITE 200
LONGVIEW, WA 98622
PHONE: 360.425.4000
E-MAIL: CRAIG@COLLINSARCHGROUP.COM

4331
REGISTERED
ARCHITECT
CRAIG M. COLLINS
STATE OF WASHINGTON

MONTICELLO HOTEL
EXTERIOR REMODEL & SITE IMPROVEMENTS
1405 17TH AVE.
LONGVIEW, WA 98632

PERMIT
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DRIVEWAY &
PATIO DETAILS

SHEET NO.

A1.1

HARDWARE GROUP	
①	CUSTOM PULL, PANIC HARDWARE, CONT. HINGE, CONCEALED CLOSER, WEATHERSTRIP, THRESHOLD, CARD READER
②	DOOR PULLS, HEAD & SILL TRACK, WEATHERSTRIP, LOCK SET
③	CUSTOM PULL, PANIC HARDWARE, CONT. HINGE, CONCEALED CLOSER, WEATHERSTRIP, THRESHOLD
④	PANIC HARDWARE, 3 PAIR HINGES, CLOSER, WEATHERSTRIP, THRESHOLD, CARD READER

Figure 1 consists of four diagrams labeled A, B, C, and D. Diagram A shows a single rectangular box with the word 'TEMP' inside. Diagram B shows an empty rectangular box. Diagram C shows four separate rectangular boxes, each with the word 'TEMP' inside, arranged horizontally. Diagram D shows a single large rectangular box containing four smaller rectangular boxes, each with the word 'TEMP' inside, arranged horizontally.

DOOR FRAME TYPES

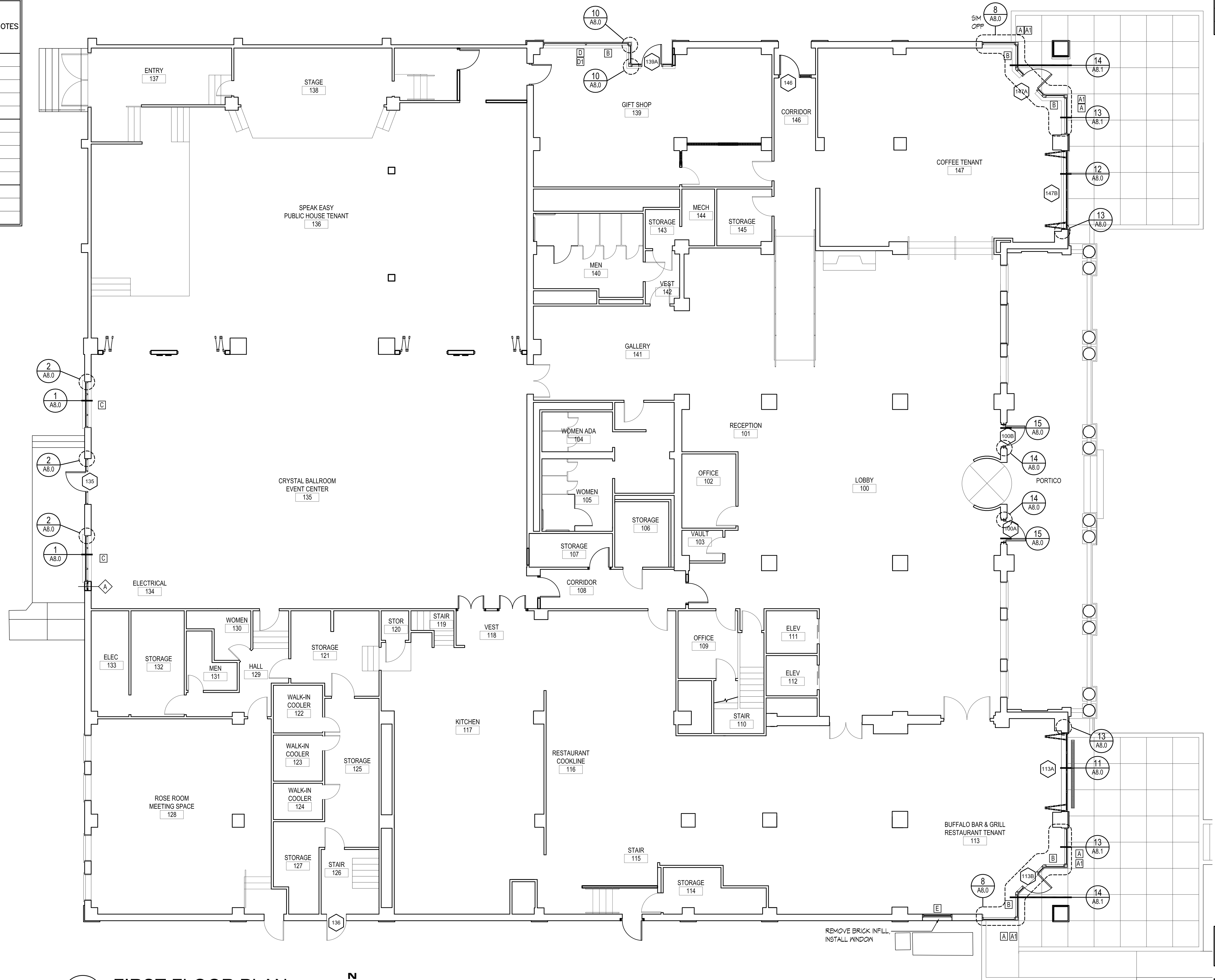
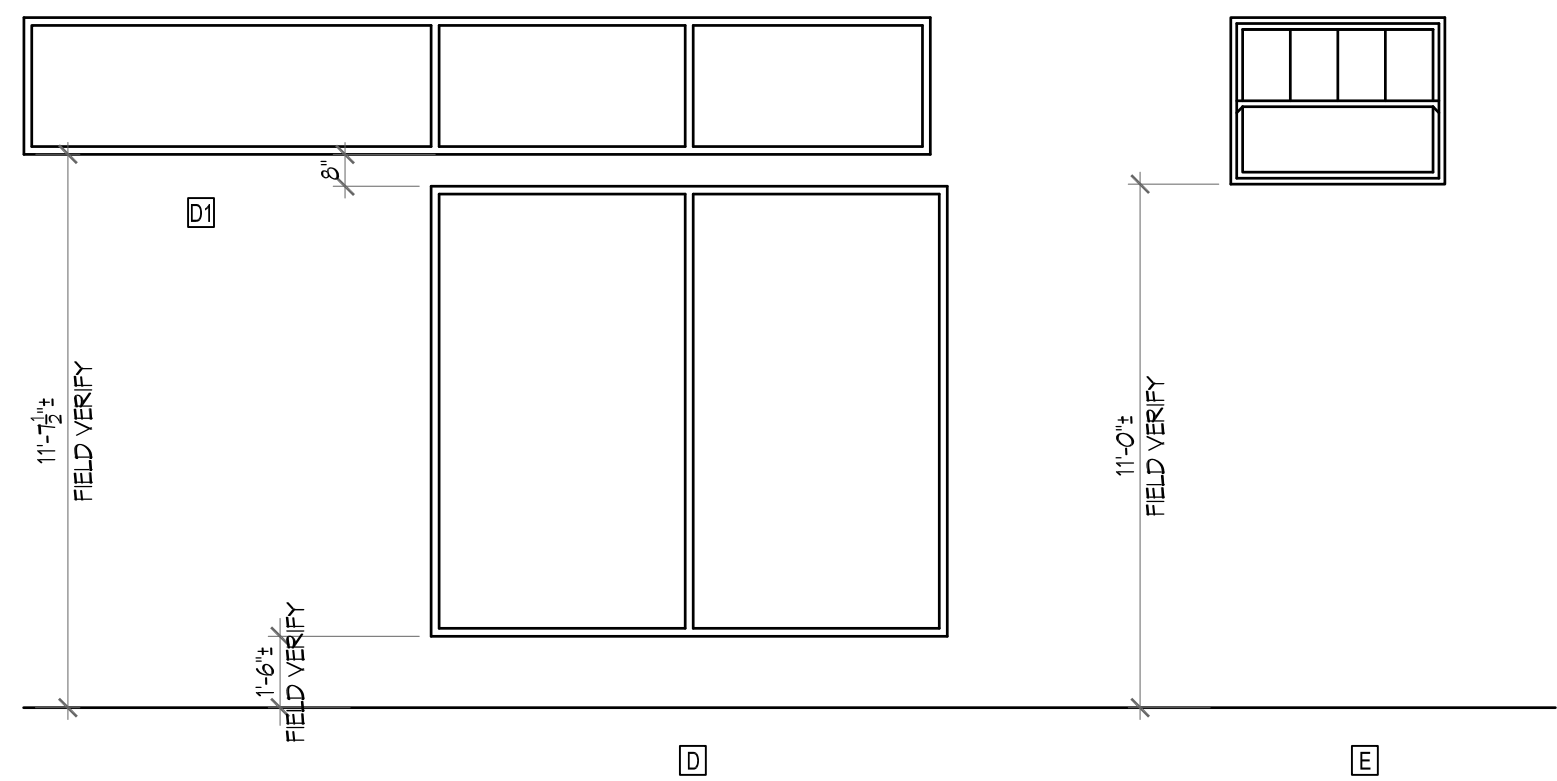
The diagram illustrates three types of door frames, labeled A, B, and C. Frame A is a simple rectangular frame. Frame B is a complex frame with multiple panels, each labeled 'TEMP'. Frame C is a frame with a split design, showing a top panel and a bottom panel, both labeled 'TEMP'.

A

B

C

Figure 1 consists of three schematic diagrams labeled A, B, and C, illustrating different types of field verification. Each diagram shows a horizontal line representing a field, with various rectangular shapes representing verification points or equipment. Diagram A shows a large rectangle on the left and a smaller one on the right, with a vertical line segment labeled 'FIELD VERIFICATION' and a dimension of '11'-3 1/2"'. Diagram B shows a single vertical rectangle in the center, with a vertical line segment labeled 'FIELD VERIFICATION' and a dimension of '1'-6 1/2"'. Diagram C shows a large rectangle on the left and a smaller one on the right, with a vertical line segment labeled 'FIELD VERIFICATION' and a dimension of '9'-3 1/2"'. The diagrams are labeled A, B, and C at the bottom.



A FIRST FLOOR PLAN
A3.0 SCALE: 1/8"=1'-0"

MARK	DATE	DESCRIPTION

COLLINS
ARCHITECTURAL GROUP, P. S.
950 12th AVE. SUITE 200
LONGVIEW, WA 98542
PHONE: 360-495-0000
E-MAIL: CRAIG@COLLINSARCHGROUP.COM

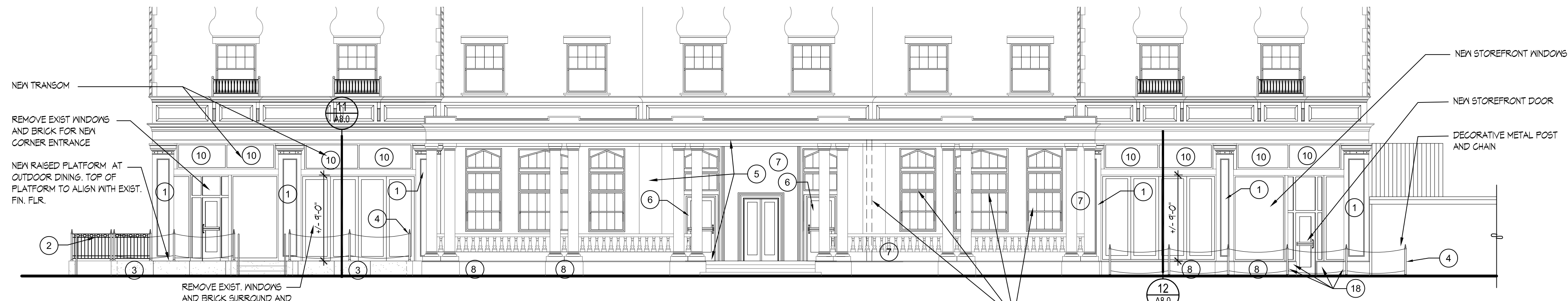
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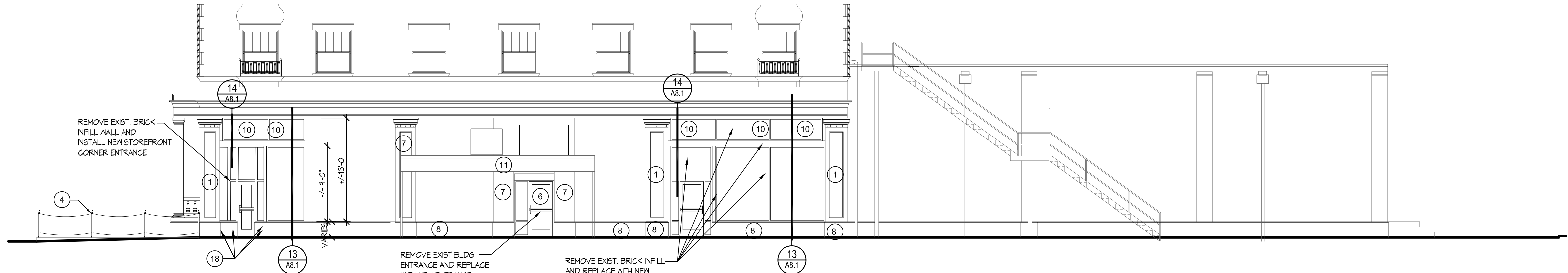
FIRST FLOOR PLAN

SHEET NO.

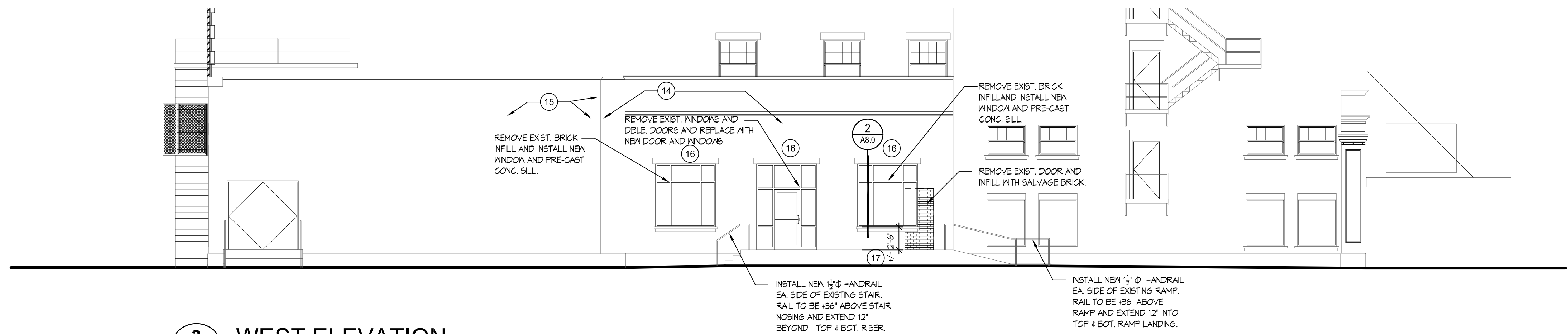
A3.0



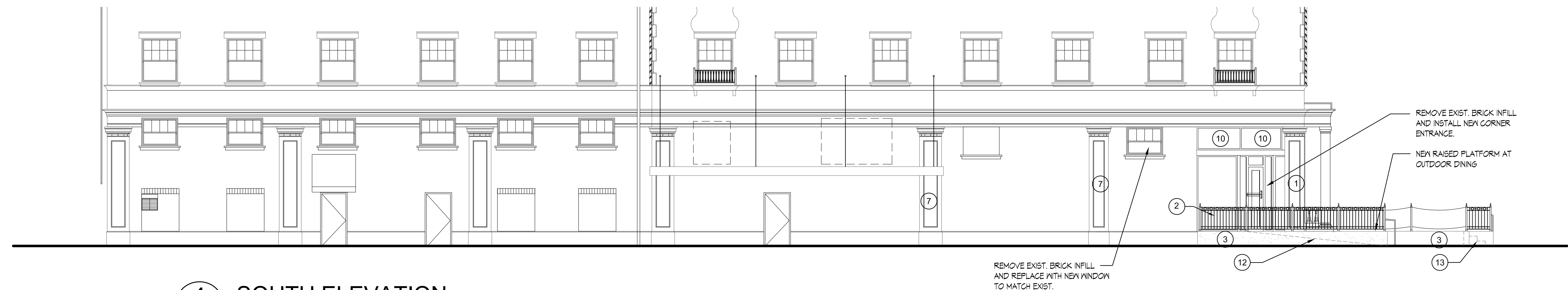
1 EAST ELEVATION
A4.0 SCALE: 1/8"=1'-0"



2 NORTH ELEVATION
A4.0 SCALE: 1/8"=1'-0"



3 WEST ELEVATION
A4.0 SCALE: 1/8"=1'-0"

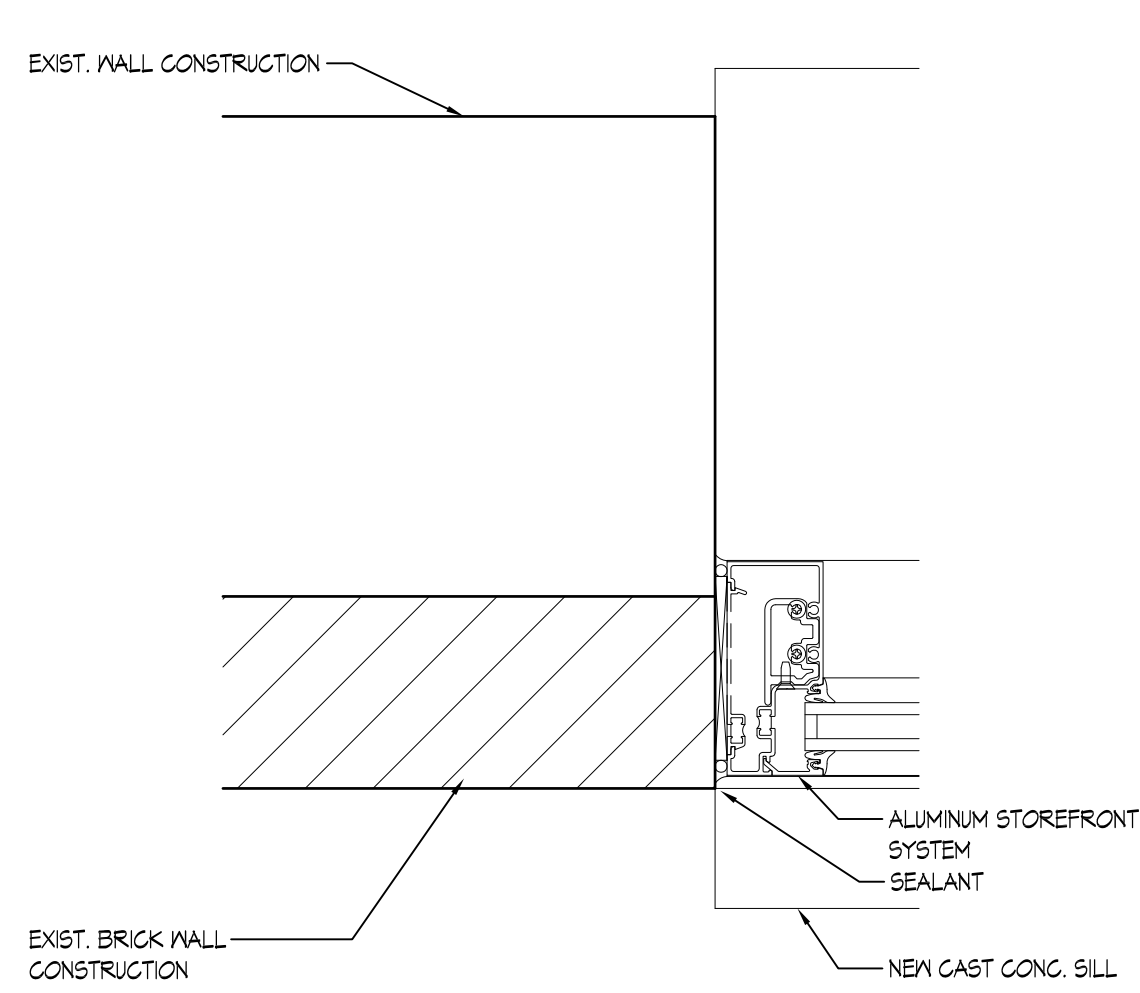


4 SOUTH ELEVATION
A4.0 SCALE: 1/8"=1'-0"

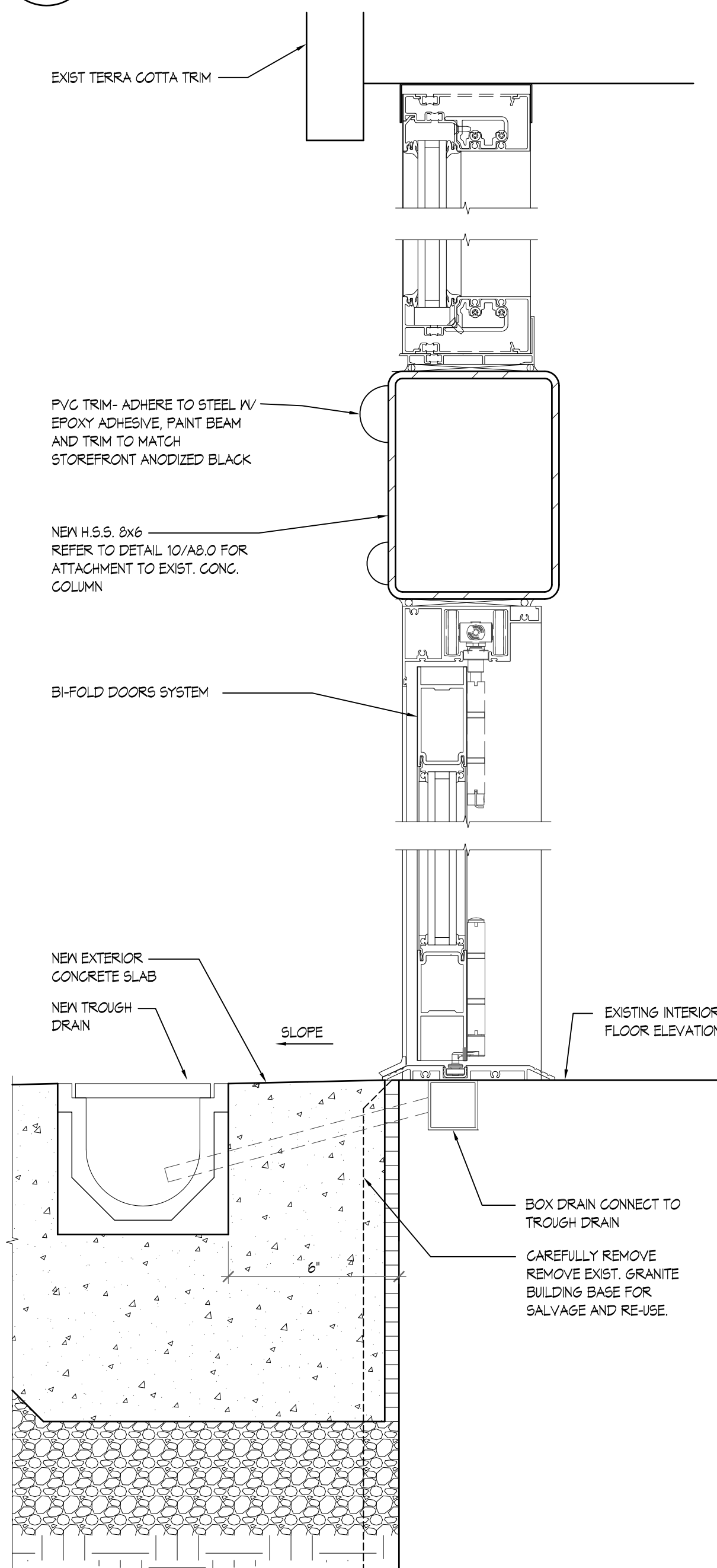
KEYNOTES:

- 1 REMOVE WALLS AROUND EXIST. TERRA COTTA COL. CLEAN, PATCH AND REPAIR TO ORIGINAL HISTORICAL CONDITION.
- 2 WROUGHT IRON RAIL.
- 3 CIP CONC STEM WALL WITH SACK RUB CONC. FINISH.
- 4 MTL POST WITH CHAIN RAILS.
- 5 REPAIR AND CLEAN EXIST'G PORTICO FLOOR, WALLS AND CEIL'G. REPAINT CEIL'G.
- 6 REMOVE EXIST'G STOREFRONT ENTRANCE AND REPLACE WITH NEW STOREFRONT DOOR AND FRAME.
- 7 EXISTING TERRA COTTA WALLS, COLUMNS, BALLUSTERS AND RAILS. REPAIR AND CLEAN.
- 8 EXISTING GRANITE BASE.
- 10 NEW TRANSOM WINDOWS ABOVE NEW TRANSOM BAR IN EXISTING OPENING.
- 11 EXIST. CANOPY.
- 12 RAMP BEHIND NEW CIP CONC LOW WALL.
- 13 STAIR BEHIND NEW CIP CONC LOW WALL.
- 14 EXIST. BRICK WALL.
- 15 EXIST. CONC. WALL.
- 16 EXIST. TERRA COTTAL LENTIL.
- 17 EXIST. CONC. PLATFORM.
- 18 NEW GRANITE BASE FROM SALVAGE.

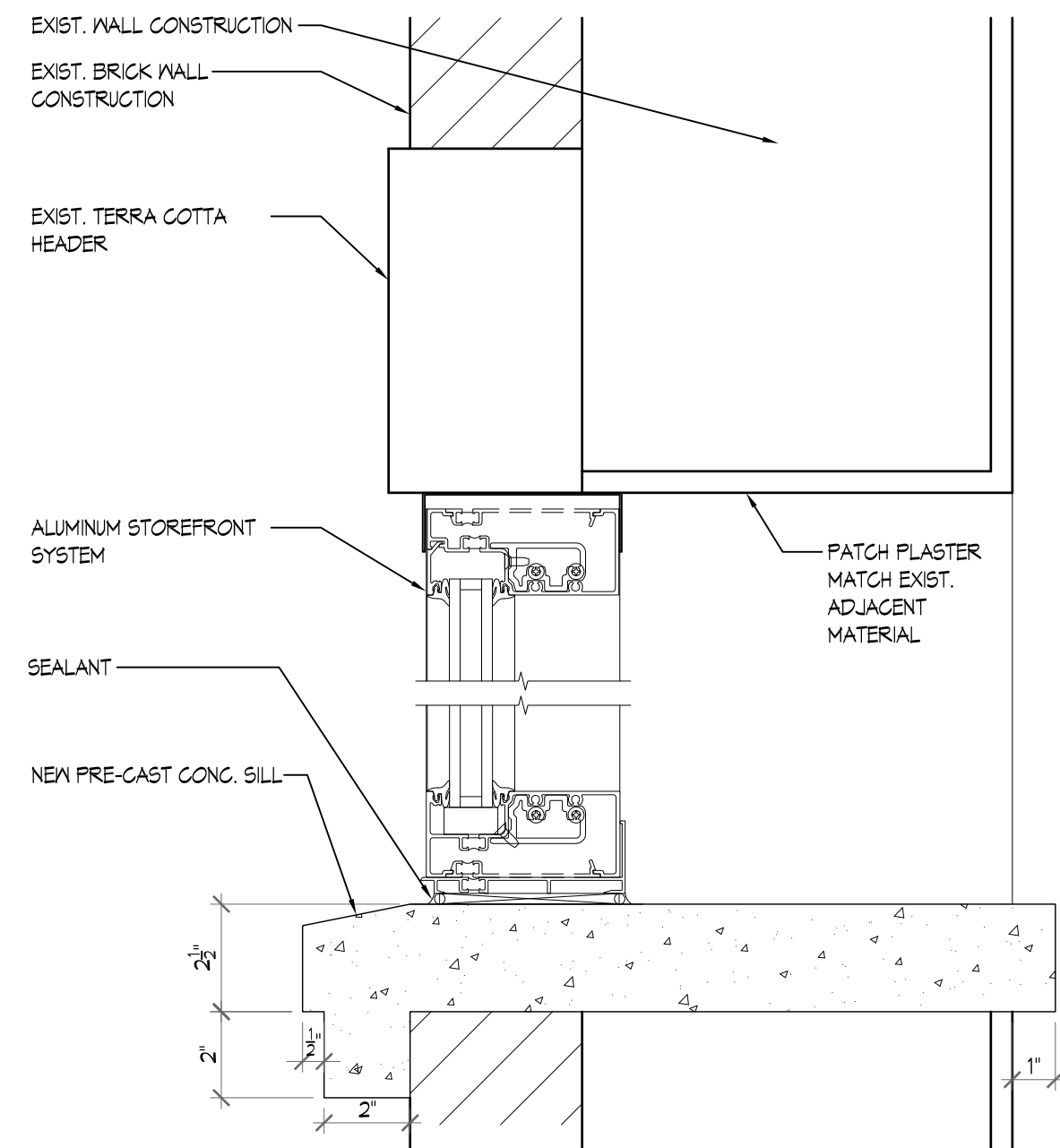
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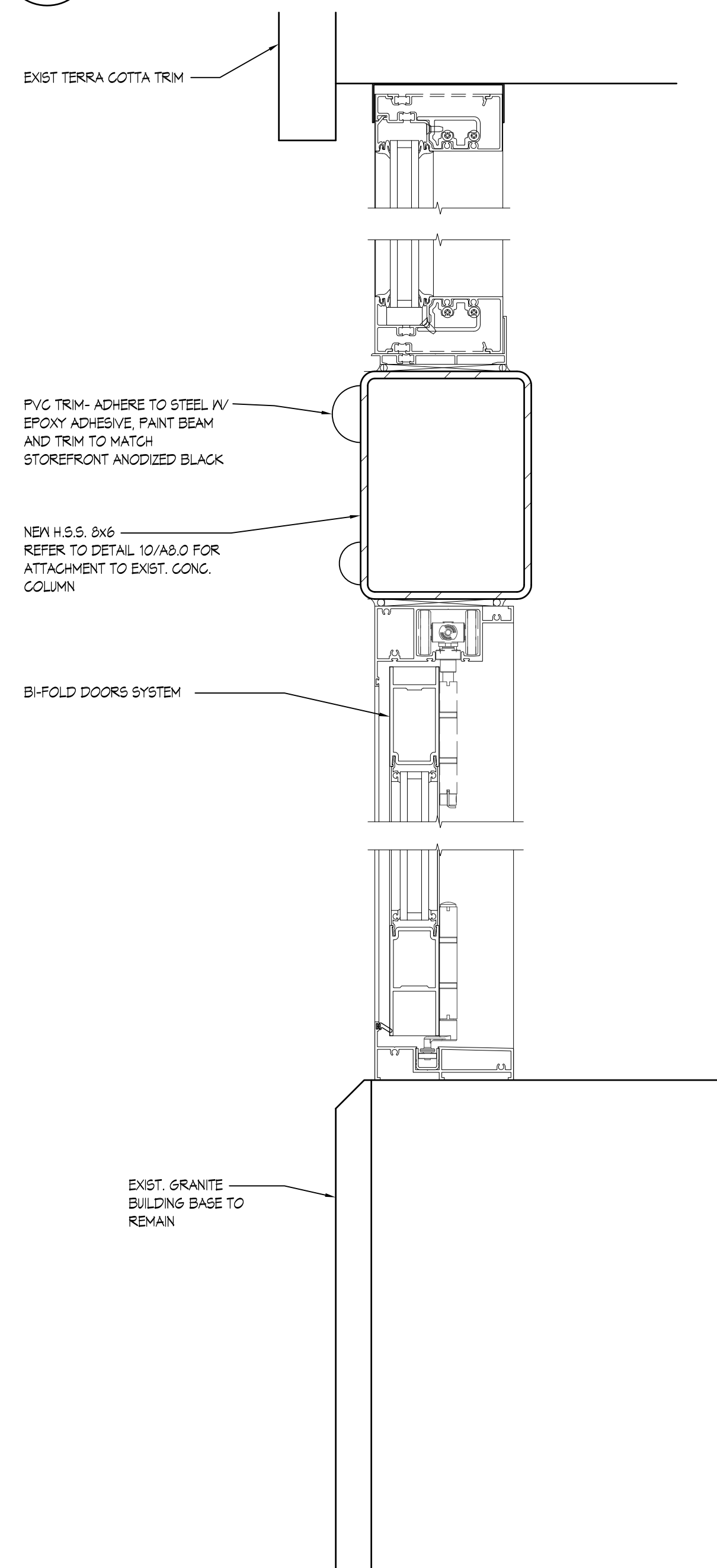
1 STOREFRONT JAMB
A8.0 SCALE: 3" = 1'-0"



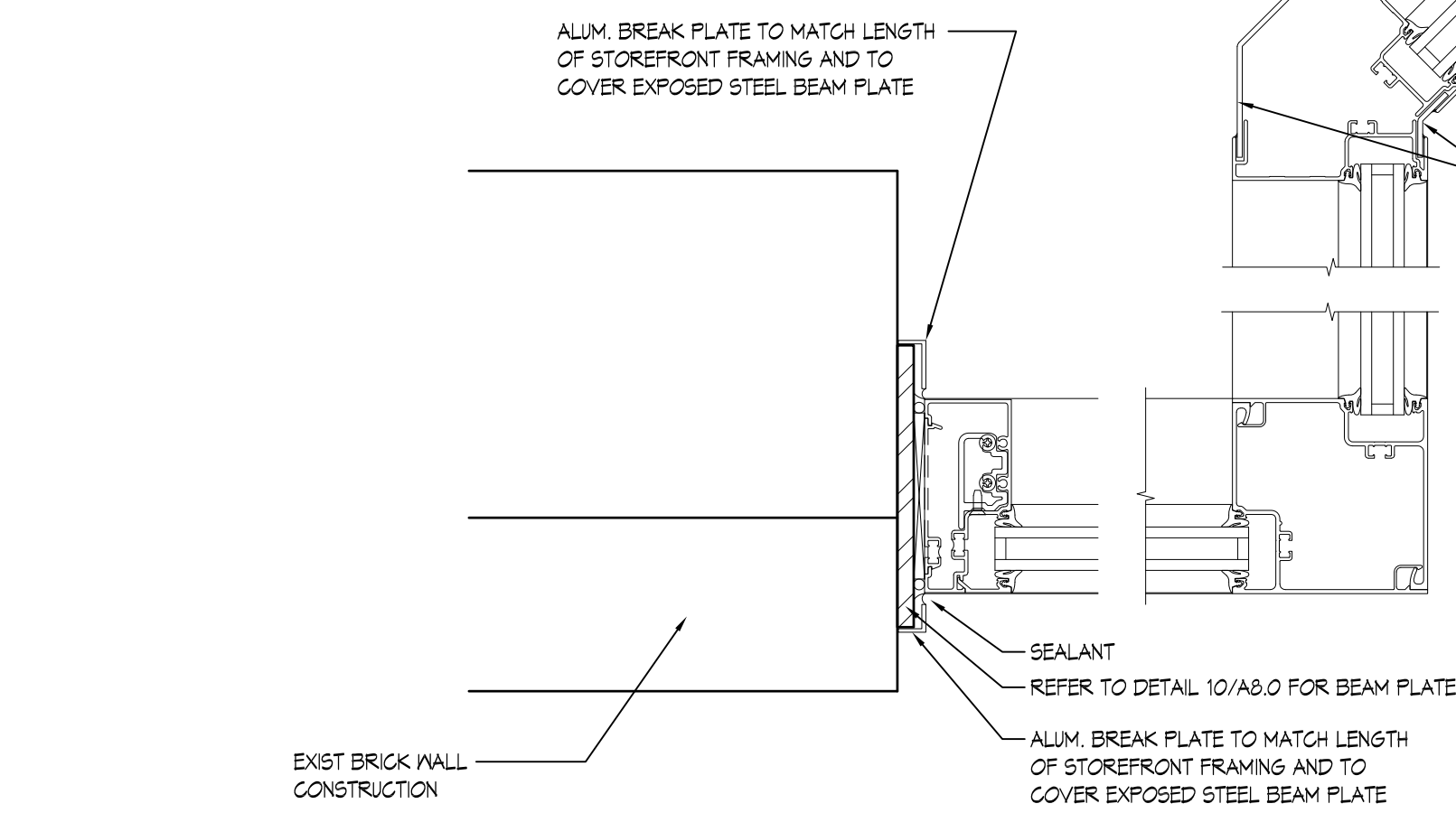
11 BI-FOLD DOOR SECTION
A8.0 SCALE: 3" = 1'-0"



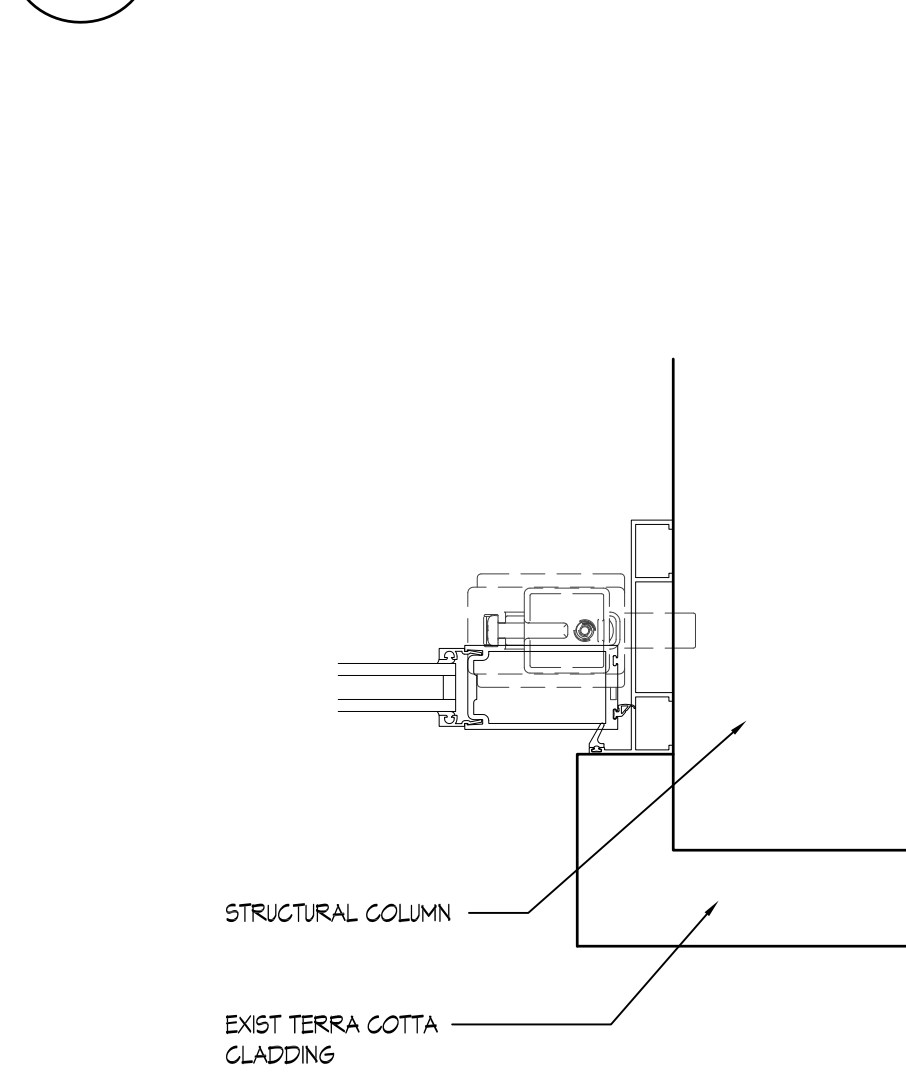
2 STOREFRONT HEAD/SILL
A8.0 SCALE: 3" = 1'-0"



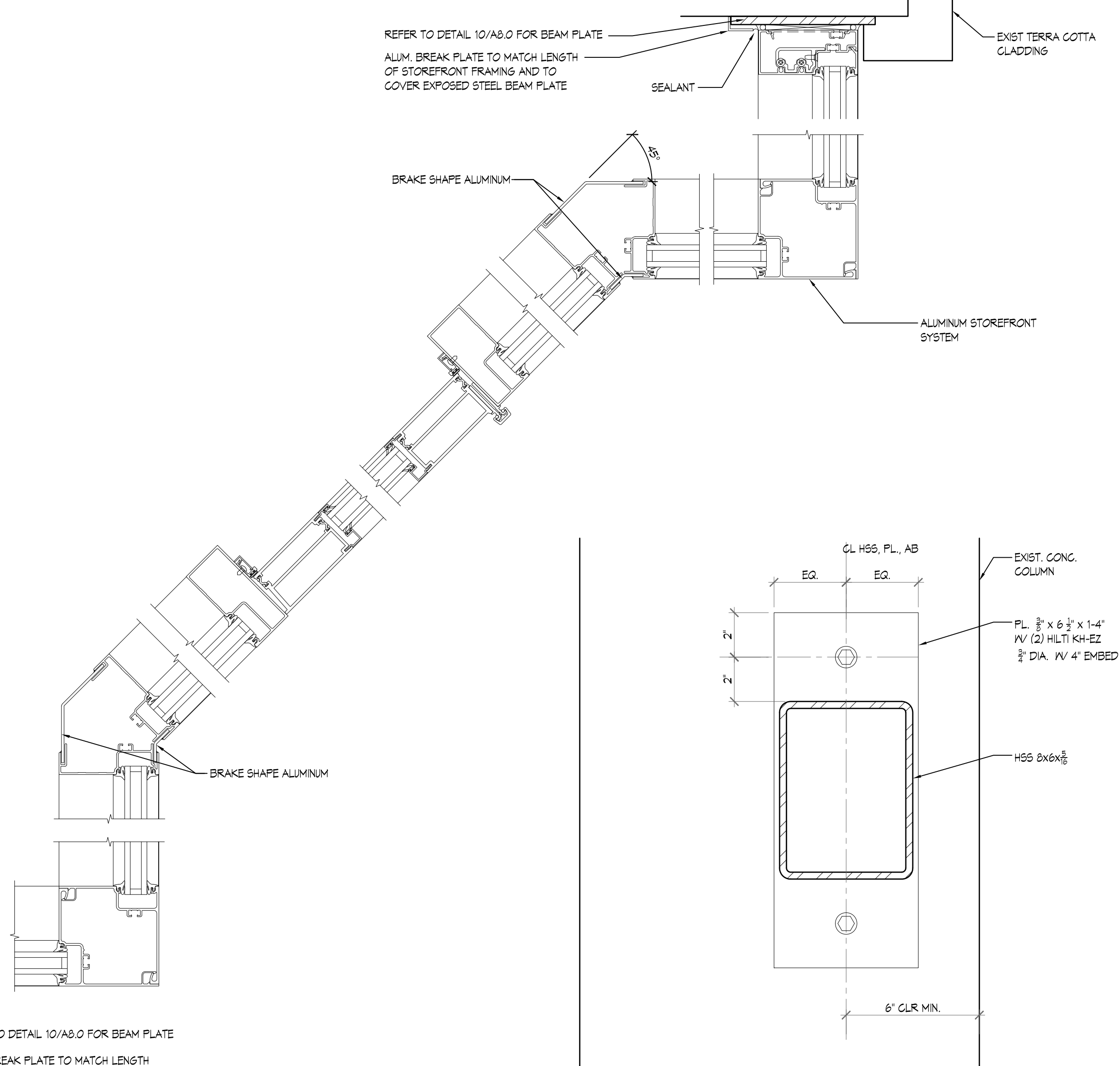
12 BI-FOLD DOOR SECTION
A8.0 SCALE: 3" = 1'-0"



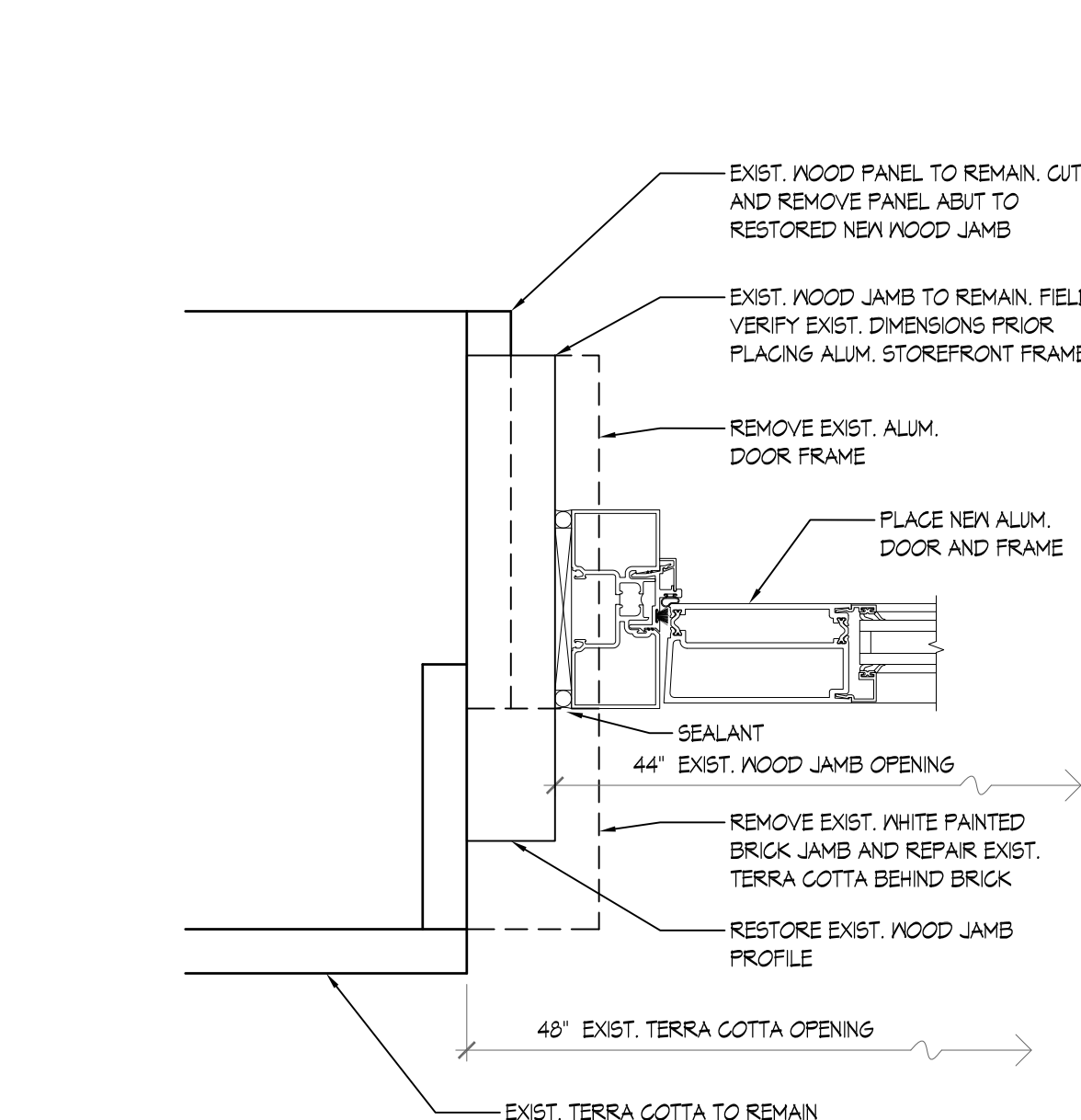
8 ENLARGED STOREFRONT PLAN
A8.0 SCALE: 3" = 1'-0"



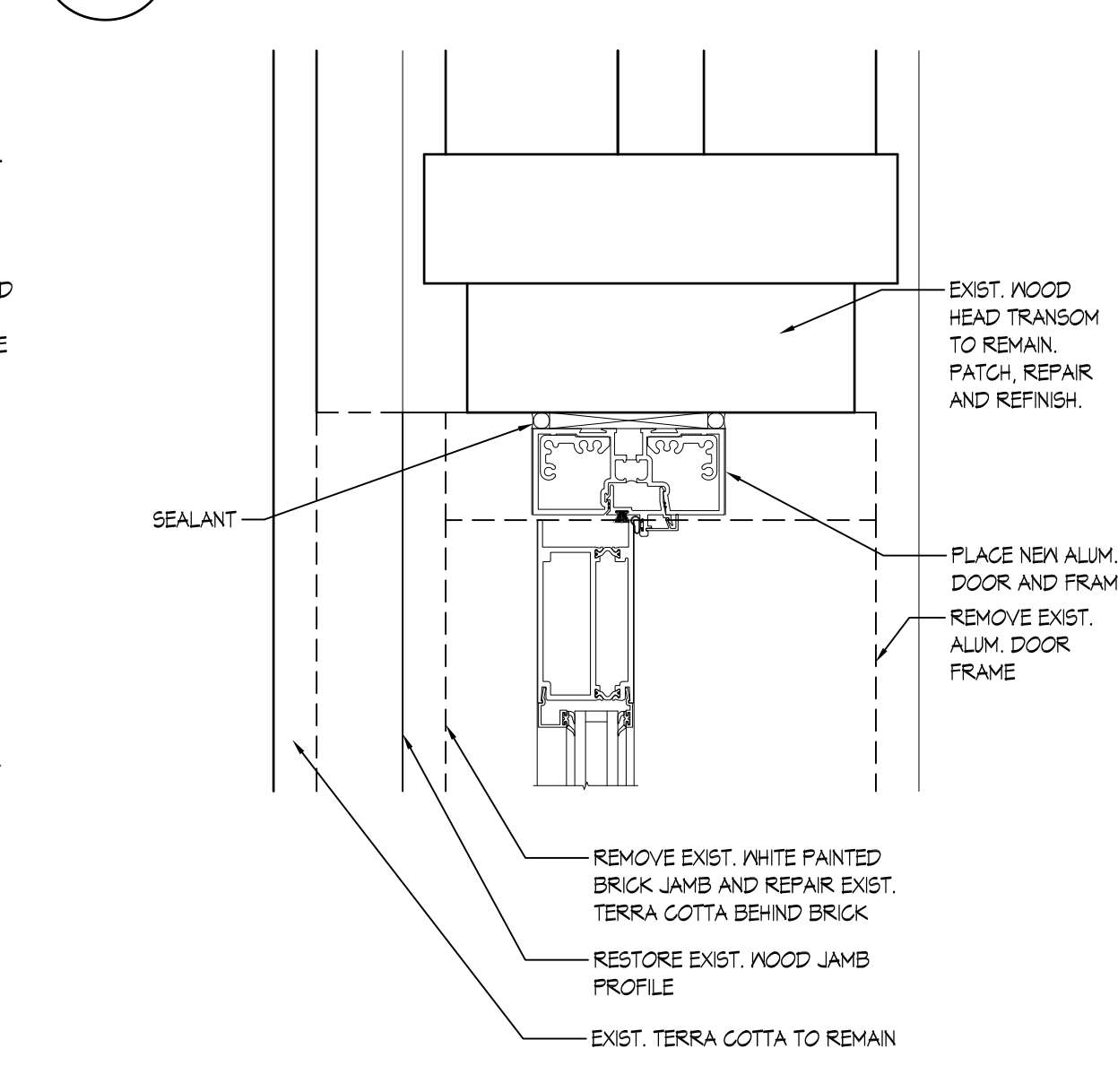
13 BI-FOLD DOOR JAMB
A8.0 SCALE: 3" = 1'-0"



10 HEADER BEAM DETAIL
A8.0 SCALE: 3" = 1'-0"



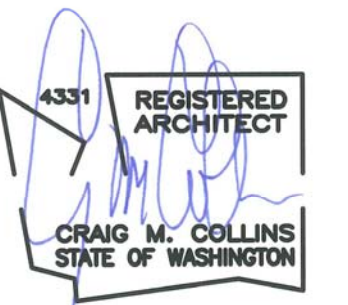
14 ENTRANCE DOOR JAMB
A8.0 SCALE: 3" = 1'-0"



15 ENTRANCE DOOR HEAD
A8.0 SCALE: 3" = 1'-0"

MARK	DATE	DESCRIPTION

COLLINS
ARCHITECTURAL GROUP, P.S.
950 12th AVE., SUITE 200
LONGVIEW, WA 98632
PHONE: 360-405-0000
E-MAIL: CRAIG@COLLINSARCHGROUP.COM



MONTICELLO HOTEL
EXTERIOR REMODEL & SITE IMPROVEMENTS
1405 17TH AVE.
LONGVIEW, WA 98632

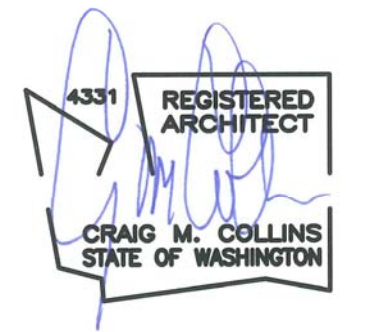
PERMIT
OCT 6, 2016

DOOR/WINDOW
DETAILS

SHEET NO.

A8.0

MARK	DATE	DESCRIPTION



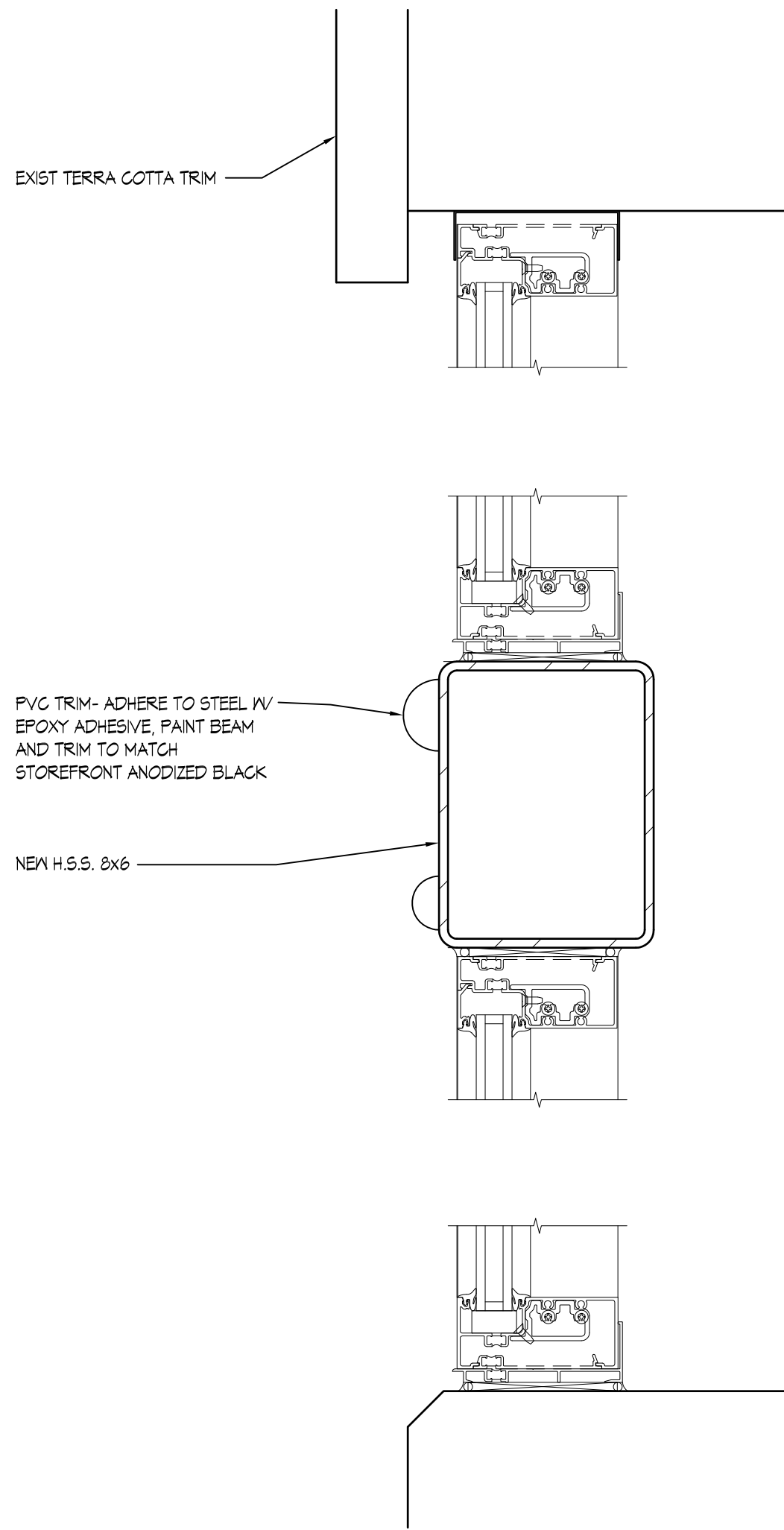
MONTICELLO HOTEL
EXTERIOR REMODEL & SITE IMPROVEMENTS
1405 17TH AVE.
LONGVIEW, WA 98632

PERMIT
OCT 6, 2016

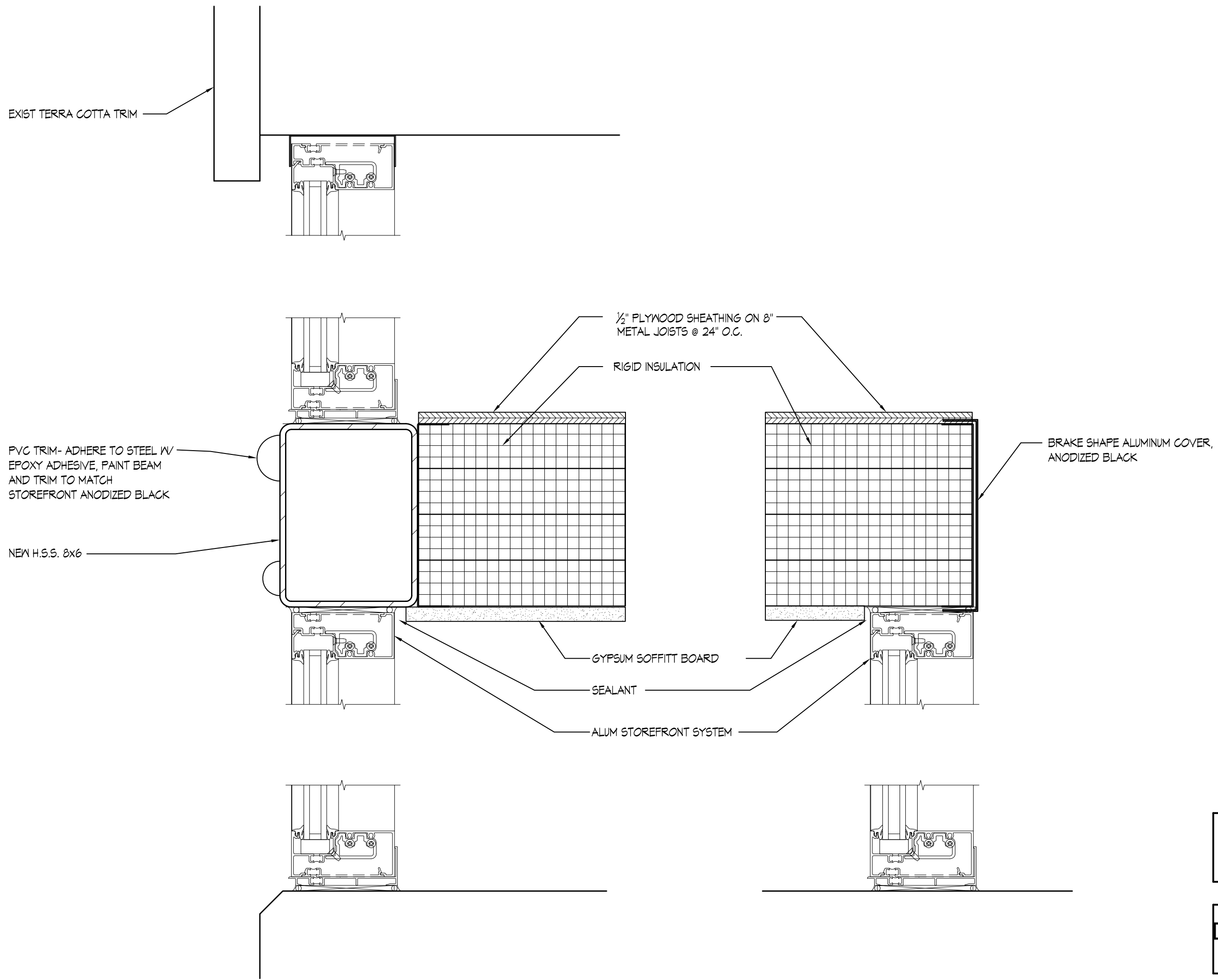
DOOR/WINDOW
DETAILS

SHEET NO.

A8.1



13
A8.1 **STOREFRONT SECTION**
SCALE: 3" = 1'-0"



14
A8.1 **STOREFRONT SECTION**
SCALE: 3" = 1'-0"